



# **Agenda**

## **Planning Review Meeting**

Wednesday 8 April 2015 at 7:00pm

Queenscliff Town Hall  
50 Learmonth Street, Queenscliff

### **Distribution**

#### **Councillors**

Cr. Helene Cameron (Mayor)  
Cr. Bob Merriman (Deputy Mayor)  
Cr. Graham J Christie, JP  
Cr. Susan Salter  
Cr. Sue Wasterval

#### **Officers**

Lenny Jenner, Chief Executive Officer  
Phil Josipovic, General Manager Planning & Infrastructure  
Leah Protyniak, Senior Planner

In accordance with the Borough of Queenscliffe Local Law No 1, 2010, the information contained within this Agenda is for the confidential and privileged use of Councillors until at least 48 hours prior to this meeting

**THIS MATERIAL DOES NOT NECESSARILY REFLECT THE VIEWS OF COUNCIL**



## Planning Review Meeting

### A guide to understanding meeting protocol

There is a need to cover some simple protocols as each meeting will often involve people attending for the first time.

1. Planning Review meetings are held to provide additional information to Councillors in preparation for the following formal council meeting. The meetings are informal and proponents and submitters to any planning matter are encouraged to address council.
  2. This is not a debating forum – we are trying to obtain the best possible understanding of the matter.
  3. We ask that parties addressing Council speak to the chair and not involve the gallery.
  4. Submitters are asked to elaborate on their written submissions – not just read out their letter – all councillors have a copy of written material.
  5. The meeting process will typically adopt the following sequence:
    - Introduction and welcome by the Chairperson.
    - Overview presentation by Council's Planning Officer.
    - The Applicant is given 5-10 minutes to outline their proposal – longer time may be given at the discretion of the chair depending on the complexity of the matter.
    - We ask submitters to limit their comments to 5 minutes bearing in mind we are seeking elaboration on the comments already received in their submission.
    - Following the last submitter the Applicant will be given an opportunity to clarify any matter of fact – but not to comment on matters of opinion.
    - Throughout this process Councillors will be able to ask questions of the Applicant, submitters or a Council Officer.
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**1. OPENING OF MEETING**

**2. APOLOGIES**

**3. PECUNIARY INTEREST & CONFLICT OF INTEREST DISCLOSURES**

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#### 4. PLANNING & DEVELOPMENT

##### 4.1 8 Arkins Street, Point Lonsdale

Planning Permit Application: 2014/080

#### SUMMARY

<b>Proposal</b>	The development of two dwellings (two storey dwelling and single storey dwelling) and outbuildings and variation to the side setback and wall length on boundary requirements of Design and Development Overlay - Schedule 4  Application and plans: <i>Refer Appendix 1</i>
<b>Zone/Overlays</b>	General Residential Zone – Schedule 1 (GRZ1) Vegetation Protection Overlay – Schedule 1 (VPO1) Design and Development Overlay - Schedule 4 (DDO4)
<b>Permit Triggers</b>	DDO -Clause 43.02-2: Buildings and works GRZ – Clause 32.08: Construct two dwellings
<b>Public Notification</b>	Advertised by registered post to adjoining property owners and occupiers, a sign on site, a notice in The Echo newspaper and notice in municipal offices for 14 days.
<b>Submissions</b>	Four (4) submissions received (one withdrawn)  Copies of three submissions provided to Councillors: <i>Refer Confidential Appendix 2</i>
<b>Key issues raised by submitters</b>	Incorrect plans, use of appropriate materials, location of pool equipment.



**4.1.1. Applicant to present to Council**

**4.1.2. Submitters to present to Council**

**4.1.3. Applicant to readdress Council**

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5. APPENDIX 1 – APPLICATION DOCUMENTS: 8 Arkins Street, Point Lonsdale



Planning Enquiries  
Phone:  
Web: <http://www.queenscliffe.vic.gov.au>

Office Use Only

Application No.: 2014/080

Date Lodged:

## Application for Planning Permit

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#)

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.

Questions marked with an asterisk (\*) are mandatory and must be completed.

If the space provided on the form is insufficient, attach a separate sheet.

Clear Form

### The Land i

1 Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address \*

Unit No.:	St. No.: 8	St. Name: Arkins Street
Suburb/Locality: Point Lonsdale		Postcode: 3225

Formal Land Description \*  
Complete either A or B.

This information can be found on the certificate of title.

A	Lot No.: 52	<input type="radio"/> Lodged Plan	<input type="radio"/> Title Plan	<input checked="" type="radio"/> Plan of Subdivision	No.: 11172
OR					
B	Crown Allotment No.:	Section No.:			
Parish/Township Name:					

### The Proposal

You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

2 For what use, development or other matter do you require a permit? \*

If you need help about the proposal, read:  
[How to Complete the Application for Planning Permit Form](#)

Development of two (2) dwellings on a lot

Provide additional information on the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

3 Estimated cost of development for which the permit is required \*

Cost \$700,000

You may be required to verify this estimate.

Insert '0' if no development is proposed (eg. change of use, subdivision, removal of covenant, liquor licence)

### Existing Conditions i

4 Describe how the land is used and developed now \*

eg. vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Existing double storey dwelling

Provide a plan of the existing conditions. Photos are also helpful.



## Queenscliffe Planning Scheme Planning Report for Development of Two (2) Dwellings on a Lot

Address: 8 Arkins Street, Point Lonsdale  
Reference: P-00167

Borough of Queenscliffe

iPlanning Services Pty Ltd – October 2014



Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale

Prepared for:

**Mr Stewart Gull**

Prepared by:

**iPlanning Services Pty Ltd**  
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#### Quality Information

Document	Planning Report
Reference No.	P-00167
Date	October 2014
Prepared by	James Iles

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Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale

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Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale



## 1. Introduction

iPlanning Services Pty. Ltd. has been engaged by Mr Stewart Gull to submit a Planning Permit Application on his behalf for the development of two (2) dwellings on a lot located at 8 Arkins Street, Point Lonsdale.

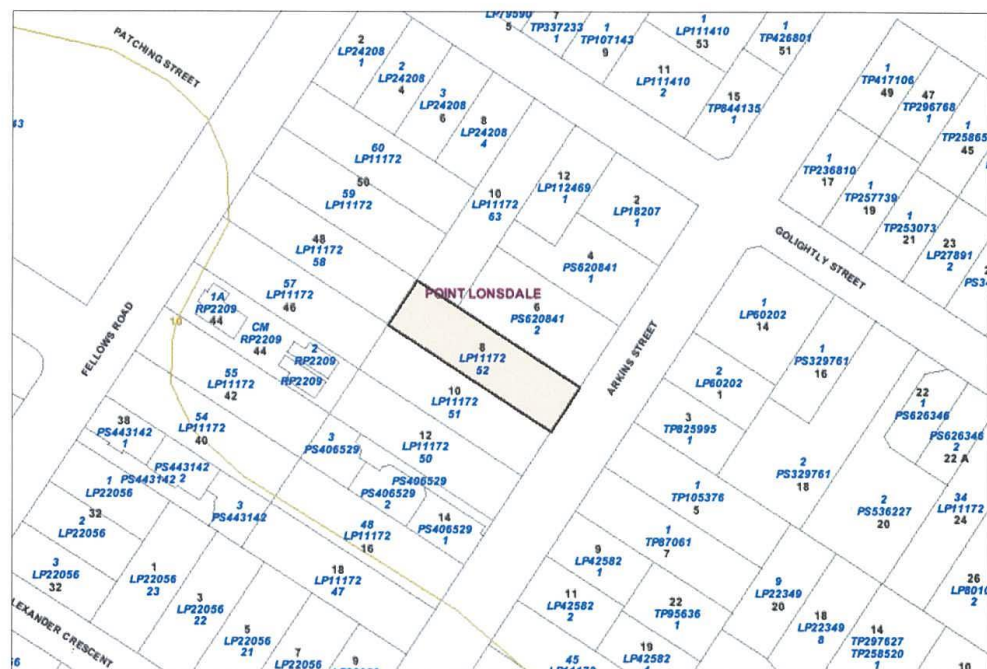
## 2. Permit Trigger/s

A Planning Permit is required for the above proposal under the following provisions of the Planning Scheme:

- |                                  |                |                                |
|----------------------------------|----------------|--------------------------------|
| ▪ General Residential Zone       | Clause 32.08-4 | Two or more dwellings on a lot |
| ▪ Design and Development Overlay | Clause 43.02-2 | Buildings and works            |

## 3. Subject Site and Site Context

The subject site is located on the west side of Arkins Street. The site consists of one Title, Vol. 07895 Fol. 161 Lot 52 on Plan of Subdivision No. 11172. The site is regular in shape with a frontage of approximately 16.76 metres to Arkins Street, a northern and southern boundary of approximately 61.57 metres, a western boundary of approximately 16.76 metres with an overall area of approximately 1031.9 square metres.



The site is currently contains an existing double storey weatherboard dwelling with garage and a wooden outbuilding located behind the dwelling. A driveway at the northern side of the site provides access into the garage. The front garden is hidden from the road by a large hedge and at the rear there is limited vegetation with the land sloping from the rear of the dwelling to the western boundary. A drainage and sewer easement is located at along the western boundary.

Development of Two (2) dwellings  
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The surrounding development includes old fibro dwelling to the south and a new modern brick single storey dwelling to the north of the site. The majority of the lots contain a single storey dwelling that is built from brick or weatherboard and are usually setback 5 to 6 metres from the front boundary. There is front fencing that comprises wire or vegetated screens and are 1.0 to 2.0 metres in height. The vegetation character of the area is native with some exotic species planted in garden beds.





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The neighbourhood character of the immediate area is described in the following table:

Table 1 – Neighbourhood Description

Street No.	Era - style	Height	External materials	Roof materials	Roof pitch (°)	Fence Type	Fence height (mm)	Front garden style
<b>Arkins Street</b>								
1	1980s	s/s	brick	iron	30	nil	nil	native
2	1950s	s/s	brick	iron	30	wire	900	native
3	1940s	s/s	brick render	tiles	27.5	post & wire	1200	native
4	1950s	s/s	brick	iron	10	nil	nil	exotic
5	1990s	s/s	brick render	iron	10	nil	nil	native
6	2000s	s/s	brick render	iron	2	nil	nil	native
7	1950s	s/s	weatherboard	iron	20	post & wire	600	native
8	1960s	d/s	block/weather board	iron	2	hedge	2400	native/exotic
9	1960s	s/s	brick	tiles	30	post & wire	1000	native
10	1960s	s/s	fibro cement	iron	10	post & wire	900	native
11	1980s	s/s	brick	tiles	22.5	timber	900	native
12	1980s	s/s	brick	tiles	25	post & wire	900	Native

The immediate neighbourhood character is a mixture of different building styles ranging between the 1950s through to the 2000s. The external building materials are predominantly brick and pitched iron roofs. The majority of the dwellings are single storey with an existing double storey in the street (subject site). The front setbacks of the dwellings are setback between 5 to 6 metres and there is some limited vegetation planted in front yards. Front fencing is limited with only a small portion of properties having front fencing which is mainly post and wire at a height of 900mm.

The subject site is located in close proximity to existing physical and social infrastructure. The main centre of Point Lonsdale is located approximately 860 metres to the east of the site in Point Lonsdale Road. The quant small shopping centre comprises a supermarket, post office, newsagency, chemist, specialty clothing stores, a number of eating places cafes and restaurants.

The Point Lonsdale Golf Club is located approximately 460 metres to the north of the site located on Fellows Road.

There are a number of excellent beaches in the area with Point Lonsdale Surf beach which is located approximately 900 metres to the south of the site and the Point Lonsdale front beach is located approximately 860 metres to the east. Ganes Reserve is located approximately 600 metres to the south of the site. The Point Lonsdale Bowling Club is located 850 metres to the east of the site.

A bus stop is located approximately 250 metres to the north in Fellows Road.

The subject site and all surrounding land is included within the General Residential Zone. The site and surrounding is also covered by the Design and Development Overlay and Vegetation Protection Overlay.



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Arkins Street is a bitumen sealed road with gravel shoulders and no drainage on either side of the road. No footpaths are located on either side of the road and there are grassed naturestrips on both sides. Overhead power lines are located on the east side of the road and reticulated water is located on the west side of the road. Street lighting is located on the power poles.

4. **Proposal**

The proposal is to construct two (2) new dwelling on the site and the following is a breakdown of the development:

**Dwelling 1:**

Dwelling 1 is a double storey building and the ground floor will comprise large entry hall, study, lounge room, dining room, kitchen/gallery, living room, laundry and theatre room. An alfresco area will located on the northern side of the dwelling and has direct access from dining room. A double car garage is attached to the dwelling and is setback behind the front façade. The southern wall of the garage will be built to the southern boundary. The first floor will comprise master bedroom with an ensuite and walk-in-robe, three (3) bedrooms all with their own ensuites and a rumpus room. The ground floor area is approximately 244.69 square metres which includes the alfresco area, garage and portico and the first floor has a floor area of approximately 200.05 square metres which includes a terrace over the alfresco area, with an overall floor area of approximately 444.74 square metres.

The external materials include rendered brickwork on the front elevation at ground floor, weatherboards on the front façade on the first floor and the remainder of the building will be built from Hebel bricks. The roof will be tiled roof that is hipped and gabled at a pitch of 25 degrees.

The overall height of the building is 8.5 metres (top of apex of the roof) and the garage wall will be built to the boundary. The building will be setback approximately 6.0 metres from the front boundary and approximately 2.5 metres from the southern boundary. A new double driveway will be constructed from Arkins Street road pavement to the garage.

An in ground swimming pool will be located in the rear yard of the dwelling.

**Dwelling 2:**

Dwelling 2 is a single storey building that will comprise two (2) bedrooms, bathroom, lounge room, games room, dining room, kitchen and laundry/bathroom. A roofed outdoor living arear is located at the rear of the dwelling and has direct access from the dining room. The floor area of the building is approximately 160.28 square metres and will be built to the northern boundary and setback approximately 4.0 metres from the southern boundary. A large entry portico at the front of the dwelling provides good entry point for those visiting the site.

The external building materials will be tilt up concrete panels that will be textured painted finish. The roof will be tiles and will have a pitch of 22.5 degrees. The overall height of the building will be approximately 5.3 metres to the roof apex.

There is no garage provided for the dwelling, a single car space at the front of the site will be provided for the dwelling with a pathway providing access to the dwelling along the northern side of Dwelling 1. There is approximately 2.5 metres of space between the dwelling and the fenceline, where the pathway will be landscaped and appropriate lighting provided for safety and security reasons.

A large private open space are is provided between the dwelling and the raised backyard area for Dwelling 1. Access to the swimming pool will also be available by the inclusion of set of stairs.



Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale

## 5. Planning Controls

### 5.1 Zoning

The subject site is situated within the **General Residential Zone (GRZ1)**.



**Clause 32.08** of the Planning Scheme refers to the General Residential Zone and the purpose of the Zone is:

- To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.
- To encourage development that respects the neighbourhood character of the area.
- To implement neighbourhood character policy and adopted neighbourhood character guidelines.
- To provide a diversity of housing types and moderate housing growth in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

#### Response:

The proposal is consistent with the purpose of the General Residential Zone. It will enable development for residential purposes at a range of densities, and will contribute to a choice of dwelling types in the area, to meet the needs of a variety of households. The new dwellings will be constructed to the rear of the site and will have no detriment to the existing character of the area. The proposals compliance with relevant State and Local policies is addressed below.

### 5.2 Construction of two or more dwellings on a lot

Under **Clause 32.0-4** of the Planning Scheme, a Planning Permit is required to construct two or more dwellings on a lot on land included within the Residential 1 Zone.



Development of Two (2) dwellings  
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Before deciding on an application, the Responsibility Authority must consider the objectives, standards and decision guidelines of **Clause 55**.

**Response:**

Refer to Section of the report for a Clause 55 assessment.

**6. Overlays**

**6.1 Overlay**

The subject site is included within the **Design and Development Overlay (DDO4)**



**Clause 43.02** of the Planning Scheme refers to the Design and Development Overlay and the purpose of the Overlay is:

- To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.
- To identify areas which are affected by specific requirements relating to the design and built form of new development.

Under the provisions of **Clause 43.02-2**, a permit is required to construct a building or construct or carry out works, and to construct a fence if specified in a schedule to this overlay.

**Clause 43.02-5** Decision guidelines states that before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:



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Decision Guidelines	Response
The State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.	The subdivision is consistent with the State Planning Policy Framework (SPPF) and Local Planning Policy Framework (LPPF) including the Municipal Strategic Statement (MSS). A detailed response to both the SPPF and LPPF including the MSS and local planning policies has been provided. It is considered that the proposed development will not result in a detrimental impact on the existing residential character or identity of the area. Furthermore, the proposed development achieves the settlement and housing aspirations of the Queenscliffe Planning Scheme, providing a more compact neighbourhood without diminishing the liveability and character of the neighbourhood. Reticulated sewerage, water, stormwater management and telecommunications facilities are available to the site. The dwellings will have different modes of transport including bus, car, bicycle and pedestrian. The development caters for diversity in housing type in the area.
The design objectives of the relevant schedule to this overlay.	The existing and proposed dwellings have addressed the matters relating to building height, building setback, landscaping and site coverage. The total site coverage of the site is approximately 39%, appropriate setbacks from the street, side and rear setbacks in accordance with the design guidelines and ResCode.
The provisions of any relevant policies and urban design guidelines.	The proposal meets the relevant policies and urban design guidelines.
Whether the bulk, location and appearance of any proposed buildings and works will be in keeping with the character and appearance of adjacent buildings, the streetscape or the area.	The proposed dwellings will be in keeping with the character of the area. The use of gable roofs, weatherboards will help blend the building into the surrounding character. The rear dwelling will not be seen from the street.
Whether the design, form, layout, proportion and scale of any proposed buildings and works is compatible with the period, style, form, proportion, and scale of any identified heritage places surrounding the site.	The proposed buildings are compatible with the style, form, proportion and scale of the surrounding places.
Whether any proposed landscaping or removal of vegetation will be in keeping with the character and appearance of adjacent buildings, the streetscape or the area.	There is no vegetation to be removed and any landscaping will be in keeping with the landscape character which is a mix of native and exotic species.
The layout and appearance of areas set aside for car parking, access and egress, loading and unloading and the location of any proposed off street car parking.	Appropriate access and car parking can be provided on site. A double car garage and two car spaces in front of the garage is provided for the front dwelling. No garage is provided for the rear dwelling, a single car space is provided at the front of the site. Providing off street parking for the rear dwelling will allow for the same amount of on street parking. Access to the dwelling from the car space is in close proximity.
Whether subdivision will result in development which is not in keeping with the character and appearance of adjacent buildings, the streetscape or the area.	Not applicable.



Development of Two (2) dwellings  
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Any other matters specified in a schedule to this overlay.	Refer to the table below that addresses the requirements of Schedule 4 to the Design and Development Overlay.
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Schedule 4 to the Design and Development Overlay refers to Point Lonsdale Natural Coastal Area and each of the design objectives ensure any **new development** maintains, protects and enhances the distinguishing elements of the urban character of the Point Lonsdale Natural Coastal Area respectively.

Clause 2.0 to Schedule 4 of **Clause 43.02** refers to the buildings and works and the permit requirements that need to be assessed for new development.

Permit requirements for DDO4	Response
<b>Buildings and works</b>	
A permit is not required to carry out routine or preventative maintenance to existing structures.	Not applicable.
A permit is required for all other buildings and works. A permit is required to construct a front fence or a fence along a foreshore boundary, except where the maximum height of the fence does not exceed of 1.2 metres and the fence is of post and wire or a similar construction that is compatible with the natural coastal character of the area.	Two (2) new dwellings are being constructed on the site and a permit is required for the development. No new front fence is being constructed.
<b>Building Height</b> - No building can exceed a height of :	
▪ Two Storeys; and	Dwelling 1 is proposed to be two storey. Dwelling 2 is a single storey dwelling.
▪ 8.5 metres above natural ground level	The proposed dwelling has an overall height of 8.5 metres above natural ground level. Dwelling 2 is below the designated 8.5 metres.
Despite the maximum building height stated above, a lesser building height may be necessary in order to:	
▪ Reflect a 'bottom up' rather than 'top down' approach to building design;	The upper floor of Dwelling does not cover the entire ground floor footprint. There is no building over the garage. The design of the building is in keeping with the design objectives of the Design and Development Overlay.
▪ Satisfy the objectives contained in Clause 21.05;	Refer to Section 9 of the report.
▪ Satisfy the <i>Building Siting and Design Guidelines</i> contained in the <i>Queenscliffe Urban Character Study</i> ;	The proposed dwellings have regard to providing side and rear setbacks from adjoining properties, and appropriate areas set aside for landscaping.
▪ Reflect the prevailing building height in the immediate area, especially in streets that are predominantly single storey in character; and,	Dwelling 1 is double storey with hipped or gabled roofs.
▪ Prevent buildings protruding above the ridgeline of the dunes along Port Phillip Bay so as to form a silhouette against the sky when viewed from the foreshore or any significant public viewing point.	The proposed buildings will not be seen from the foreshore or any public viewing point.
▪ Prevent buildings significantly protruding above the vegetation canopy of an area	There proposed buildings will not protrude above the existing tree canopy.
▪ Take into consideration the reasonable sharing of views.	Not applicable.
<b>Building setbacks</b> – new buildings must also meet the following requirements:	



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<ul style="list-style-type: none"> <li>The front setback should be at least 6 metres, or may match the setback of the adjacent buildings or be between their setbacks (where they are setback different distances), whichever is the lesser</li> </ul>	The front setback is 6.0 metres.
<ul style="list-style-type: none"> <li>Side and rear setbacks are to be a minimum of 1.2 metres for a single storey building (up to a wall height of 3.6 metres) and a minimum of 1.92 metres for a two storey building with a wall height of up to 6.0 metres (i.e. an additional 100mm setback for every 300mm above 3.6 metres).</li> </ul>	Side setbacks for the front dwelling accord with this provision (refer to the development plans). Dwelling 2 will be set onto the northern boundary. The existing dwelling to the north is not located within close proximity to the proposed dwelling and there will be no impact caused by overlooking or overshadowing.
<ul style="list-style-type: none"> <li>Buildings should not be built on side and rear boundaries except where : <ul style="list-style-type: none"> <li>the building is sited alongside an existing building on an adjoining property which is built on the boundary; and</li> <li>the proposed building replaces an existing building which is sited closer than 1.2 metres from the side or rear boundary.</li> </ul> </li> </ul>	Dwelling 1 will have a garage on the northern boundary. The adjoining dwelling to the north is located close to the boundary and there will be no impact caused by overlooking or overshadowing. Dwelling 2 will be built to the northern boundary and no impact will be caused from overlooking or overshadowing.
<ul style="list-style-type: none"> <li>An outbuilding, garage or carport should not be constructed on a boundary, except in the following circumstances: <ul style="list-style-type: none"> <li>the building height on the boundary does not exceed 3.6 metres;</li> <li>the average height of the wall does not exceed 3.0 metres;</li> <li>the length of the wall on the boundary is not greater than 10 metres</li> </ul> </li> </ul>	The proposed garage for Dwelling 1 will have a wall height of 3.2 metres, which is below the maximum 3.6 metres. The length of wall along the northern boundary is 6.5 metres, which is also less than the 10 metres. The length of the northern wall of Dwelling 2 is 10.58 metres which is just longer than the 10 metres. The wall height is 2.85 metres which is under the 30 metres as required.
<b>Permeable surface area</b>	
<ul style="list-style-type: none"> <li>At least 30% of the area of a site should have a permeable surface.</li> </ul>	The site has a permeable area of 38%.
<b>Site coverage</b>	
<ul style="list-style-type: none"> <li>Buildings should not occupy more than 40% of the area of a site.</li> </ul>	The site coverage for the buildings is 39%.
<b>Adjacent to a heritage overlay</b>	
<ul style="list-style-type: none"> <li>Any building or works adjoining a building, site or object listed in a heritage overlay will require plans and a report to be submitted showing how the subdivision, buildings or works are sympathetic to the character and amenity of the adjoining building.</li> </ul>	The site is not adjacent to an existing heritage overlay.

## 6.2 Vegetation Protection Overlay

The subject site is also included within **Vegetation Protection Overlay (VPO1)**



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**Clause 42.02** of the Planning Scheme refers to the vegetation Protection Overlay and the purpose of the Overlay is:

- To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.
- To protect areas of significant vegetation.
- To ensure that development minimises loss of vegetation.
- To preserve existing trees and other vegetation.
- To recognise vegetation protection areas as locations of special significance, natural beauty, interest and importance.
- To maintain and enhance habitat and habitat corridors for indigenous fauna.
- To encourage the regeneration of native vegetation.

**Response:**

Vegetation has been removed by a previous planning permit.

## 7. Particular Provisions

### 7.1 Native Vegetation

Under the provisions of **Clause 52.17-2**, a permit is required to remove, destroy or lop native vegetation, including dead native vegetation. This does not apply:

- If the table to **Clause 52.17-6** specifically states that a permit is not required.
- To the removal, destruction or lopping of native vegetation specified in the schedule to this clause.
- To an area specified in the schedule to this clause.



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**Response:**

No native vegetation is to be removed as part of the application.

## 7.2 Car Parking

The table contained in **Clause 52.06-5** of the Planning Scheme states that car parking must be provided at a ratio of:

- 1 car space to each one or two bedroom dwelling, plus;
- 2 car spaces to each three or more bedroom dwelling (with studies or studios that are separate rooms counted as a bedrooms) plus;
- 1 car space for visitors to every 5 dwellings for developments of 5 or more dwelling

**Response:**

The proposed development comprises 1 x 2 bedroom dwelling and 1 x 3 bedroom dwelling. This equates to three (3) car spaces to be provided on site. There are at least 3 spaces to be provided.

## 7.3 Two or more Dwellings on a Lot and Residential Buildings

**Clause 55** of the Planning Scheme sets out various objectives and standards which Planning Permit applications for multi-dwelling residential development must meet.

Clause	Comment
<b>55.02-1</b> NEIGHBOURHOOD CHARACTER  To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character.  To ensure that the design responds to the features of the site and surrounding area.	<p><b>Complies</b> – Refer to Section 3 of the attached Planning Report for further details.</p> <p>The existing neighbourhood character features mainly single storey dwellings that are constructed between 1950s and 1990s and are constructed from brick and weatherboard with a mixture of tiled and iron roofs. The pitches of the roof are mainly sloping with pitches of between 5 and 10 degrees, however there are pitched that are 27.5 degrees. Other features include mainly exotic garden being planted in front yards and high front fencing ranging between 1.0 and 2.0 metres in height.</p> <p>Under this proposal, the new dwellings will be constructed a mixture of building materials including brick, timber and modern materials (Hebel Brick). The roofs will contain gabled and hipped and will be clad in tiles. Car parking will be provided in garages or at the front of the site.</p> <p>No front fencing is proposed with the development and landscaping will be minimal and comprise native and exotic plantings.</p>



Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale



<p><b>55.02-2</b> RESIDENTIAL POLICY</p> <p>To ensure that residential development is provided in accordance with any policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.</p> <p>To support medium densities in areas where development can take advantage of public transport and community infrastructure and services.</p>	<p><b>Complies</b> – Refer to Section 9 of the attached Planning Report for further details.</p>
<p><b>55.02-3</b> DWELLING DIVERSITY</p> <p>To encourage a range of dwelling sizes and types in developments of ten or more dwellings.</p>	<p><b>Complies</b> – Dwelling 1 is double storey and comprises four (4) bedrooms with livign areas located at gorund level. Dwelling 2 will be single storey an comprise two (2) bedrooms.</p>
<p><b>55.02-4</b> INFRASTRUCTURE</p> <p>To ensure development is provided with appropriate utility services and infrastructure.</p> <p>To ensure development does not unreasonably overload the capacity of utility services and infrastructure.</p>	<p><b>Complies</b> - The existing services of gas, electricity, reticulated water and sewerage are currently available to the site and will be utilised as part of the proposed development.</p> <p>There is no indication that the development will overload these services.</p>
<p><b>55.02-5</b> INTEGRATION WITH THE STREET</p> <p>To integrate the layout of development with the street.</p>	<p><b>Complies</b> – Dwelling 1 entrance will be easily seen from Arkins Street which provides good surveillance for residents in the development. Dwelling 2 is located at the rear and access will be via a walkway from Arkins Street. There is good surveillance from Dwelling 1 and also along the walkway.</p>
<p><b>55.03-1</b> STREET SETBACK</p> <p>To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.</p>	<p><b>Complies</b> – The front setback is 6.0 metres and complies with the standard.</p>
<p><b>55.03-2</b></p>	



Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale



<b>BUILDING HEIGHT</b>  To ensure that the height of buildings respects the existing or preferred neighbourhood character.	<b>Complies</b> – The maximum overall height is 8.5 metres for Dwelling 1 and 5.3 metres for Dwelling 2.
<b>55.03-3 SITE COVERING</b>  To ensure that the site coverage respect the existing or preferred neighbourhood character and responds to the features of the site.	<b>Complies</b> –  Built area – 404.97m <sup>2</sup> Site area – 1032m <sup>2</sup>  $404.97\text{m}^2 \div 1032\text{m}^2 \times 100 = 39.2\%$
<b>55.03-4 PERMEABILITY</b>  To reduce the impact of increased stormwater run-off on the drainage system.  To facilitate on-site stormwater infiltration.	<b>Complies</b> –  Built/hard surface area – 556.97m <sup>2</sup> Site area – 1032m <sup>2</sup>  $556.97\text{m}^2 \div 1032\text{m}^2 \times 100 = 54\%$
<b>55.03-5 ENERGY EFFICIENCY</b>  To achieve and protect energy efficient dwellings.  To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.	<b>Complies</b> – The internal living area has been orientated towards the north with these internal areas having direct access to an outdoor living area that is located to the north. There are large areas of windows in the living areas to allow for good solar access, which will help with the reduction of the use of fossil fuels.
<b>55.03-6 OPEN SPACE</b>  To integrate the layout of development with any public and communal open space provided in or adjacent to the development.	<b>N/A</b> - No common open space proposed as part of this development.
<b>55.03-7 SAFETY</b>  To ensure the layout of development provides for the safety and security of residents and property.	<b>Complies</b> – Proposed entrances to each dwelling are generally oriented towards Fellows Road. Lights can be installed at each entrance for visibility at night times and front doors to each unit will be seen from the street. The private open spaces to each unit will be enclosed with no public access. Planting will not obscure accessways.
<b>55.03-8</b>	



Development of Two (2) dwellings  
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<p><b>LANDSCAPING</b></p> <p>To encourage development that respects the landscape character of the neighbourhood.</p> <p>To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance.</p> <p>To provide appropriate landscaping.</p> <p>To encourage the retention of mature vegetation on the site.</p>	<p><b>Complies</b> – Appropriate landscaping will be provided as part of the development. A detailed landscape plan is provided in the plans documentation.</p>
<p><b>55.03-9 ACCESS</b></p> <p>To ensure vehicle access to and from a development is safe, manageable and convenient.</p> <p>To ensure the number and design of vehicle crossovers respects the neighbourhood character.</p>	<p><b>Complies</b> – The proposal will create two (2) new crossovers which will allow for convenient, safe and efficient vehicle movements and connection to Fellows Road.</p>
<p><b>55.03-10 PARKING LOCATION</b></p> <p>To provide convenient parking for resident and visitor vehicles.</p> <p>To avoid parking and traffic difficulties in the development and the neighbourhood.</p> <p>To protect residents from vehicular noise within developments.</p>	<p><b>Complies</b> – Convenient parking is provided for Dwelling 1 with two (2) undercover parking spaces in the garage, with two (2) additional parking spaces in front of the garage door.</p> <p>Parking for Dwelling 2 is located at the front of the site, where residents/visitors will park and walk along a walkway to the dwelling at the rear. It is considered that reasonable and convenient parking for Dwelling 2 has been provided with a wide walkway that is paved, landscaped and lit to provide safe access to the rear of the property. There will be appropriate interaction with the residents of Dwelling 1 and those who walk along the walkway which will provide good surveillance for both residents.</p>
<p><b>55.04-1 SIDE AND REAR SETBACK</b></p> <p>To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</p>	<p><b>Complies</b> – New building wall heights will be less than 3.6 metres and are setback at least 1 metre from side and rear boundaries, except for the garage for dwelling 1 and the northern wall of Dwelling 2.</p>



Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale



<p><b>55.04-2</b> WALLS ON BOUNDARIES</p> <p>To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</p>	<p><b>Complies</b> – The wall length on the northern boundary complies with the standard.</p>
<p><b>55.04-3</b> DAYLIGHT TO EXISTING WINDOWS</p> <p>To allow adequate daylight into existing habitable room windows.</p>	<p><b>Complies</b> – All habitable room windows on surrounding dwellings are in excess of 1m from the subject site.</p>
<p><b>55.04-4</b> NORTH-FACING WINDOWS</p> <p>To allow adequate solar access to existing north-facing habitable room windows.</p>	<p><b>Complies</b> – There are no habitable room windows within 3 metres of the property boundary.</p>
<p><b>55.04-5</b> OVERSHADOWING OPEN SPACE</p> <p>To ensure buildings do not unreasonably overshadow existing secluded private open space.</p>	<p><b>Complies</b> – There is no overshadowing to the existing dwellings or their secluded private open spaces.</p>
<p><b>55.04-6</b> OVERLOOKING</p> <p>To limit views into existing secluded private open space and habitable room windows.</p>	<p><b>Complies</b> – There is no overlooking into the adjoining property to the north. The adjoining dwelling sits lower into the site and any overlooking is addressed by highlight windows and fencing.</p> <p>To the south the site is vacant of any buildings and there is no issue of overlooking.</p>
<p><b>55.04-7</b> INTERNAL VIEWS</p> <p>To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.</p>	<p><b>Complies</b> – There will be no impact of internal overlooking from Dwelling 1 into Dwelling 2. Dwelling 2 will be set lower than Dwelling 1 and appropriate landscaping and being setback more than 9.0 metres will reduce any overlooking.</p>



Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale



<p><b>55.04-8</b> NOISE IMPACTS</p> <p>To contain noise sources in developments that may affect existing dwellings.</p> <p>To protect residents from external noise.</p>	<p><b>Complies</b> – There will no noise impacts to adjoining dwellings.</p>
<p><b>55.05-1</b> ACCESSIBILITY</p> <p>To encourage the consideration of the needs of people with limited mobility in the design of developments.</p>	<p><b>Complies</b> – Entry point is located at ground level and is easily accessible.</p>
<p><b>55.05-2</b> DWELLING ENTRY</p> <p>To provide each dwelling or residential building with its own sense of identity.</p>	<p><b>Complies</b> – Entry point is visible from within driveway or the street and is contained under a verandah for Dwelling 1.</p>
<p><b>55.05-3</b> DAYLIGHT TO NEW WINDOWS</p> <p>To allow adequate daylight into new habitable room windows.</p>	<p><b>Complies</b> – All habitable room windows open to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky.</p>
<p><b>55.05-4</b> PRIVATE OPEN SPACE</p> <p>To provide adequate private open space for the reasonable recreation and service needs of residents.</p>	<p><b>Complies</b> – Each dwelling will comprise at least 25 square metres of secluded private open space and at least 40 squares metres overall.</p>
<p><b>55.05-5</b> SOLAR ACCESS TO OPEN SPACE</p> <p>To allow solar access into the secluded private open space of a new dwelling.</p>	<p><b>Complies</b> – All secluded private open spaces areas are located on the north side of the dwelling.</p>
<p><b>55.05-6</b> STORAGE</p> <p>To provide adequate storage facilities for each dwelling.</p>	<p><b>Complies</b> – Storage spaces are available with small garden sheds.</p>



Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale



<p><b>55.06-1</b> DESIGN DETAIL</p> <p>To encourage design detail that respects the existing or preferred neighbourhood character.</p>	<p><b>Complies</b> – The built form with compliment and be compatible with existing surrounding development.</p> <p>The existing neighbourhood is characterised by simple designs that were built in the 1970s and 1990s. There are some more modern designs starting to be built in the immediate area with a mixture of building materials such as brick, weatherboard and mixture of pitched and flat roofs.</p> <p>The proposed development will comprise face brickwork, weatherboards and Hebel bricks, tiled hipped and gabled roofs, covered verandahs and porticos, colourbond roller doors, and aluminium windows.</p>
<p><b>55.06-2</b> FRONT FENCES</p> <p>To encourage front fence design that respects the existing or preferred neighbourhood character.</p>	<p><b>Complies</b> – No front fences are being constructed as part of this application.</p>
<p><b>55.06-3</b> COMMON PROPERTY</p> <p>To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.</p> <p>To avoid future management difficulties in areas of common ownership.</p>	<p><b>Not applicable</b></p>
<p><b>55.06-4</b> SITE SERVICES</p> <p>To ensure that site services can be installed and easily maintained.</p> <p>To ensure that site facilities are accessible, adequate and attractive.</p>	<p><b>Complies</b> – Site services have been located where possible in the most efficient and economical location.</p> <p>Provision has been made for the storage of bins and mailboxes have been located in convenient and appropriate locations.</p>

## 8. General Provisions

### 8.1 Decision Guidelines

Under the provisions of **Clause 65.01**, before deciding on an application or approval of a plan, the responsible authority must also consider, as appropriate:



Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale



Clause 65.01- Application or approval of a plan	Comments
The State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies	The proposed development complies with the SPPF and LPPF including the MSS and local planning policies.
The purpose of the zone, overlay or other provision	The development complies with the General Residential Zone (GRZ).
Any matter required to be considered in the zone, overlay or other provision	The development complies with the Design and Development Overlay.
The orderly planning of the area	This proposal represents an orderly, sensible and practical response to land that is situated within a residential context.
The effect on the amenity of the area	There will be no measurable effect or impacts on the amenity of the area. Appropriate offsets distances exist between the proposed dwellings and adjoining residential properties. No adverse overshadowing effects or overlooking of private open space has occurred through this layout and design of the proposed dwellings.
The proximity of the land to any public land	The site is within proximity to the
Factors likely to cause or contribute to land degradation, salinity or reduce water quality	Not applicable.
Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site	Any storm or surface water runoff will be discharged to the current legal point of discharge. The proposal will not increase stormwater runoff.
The extent and character of native vegetation and the likelihood of its destruction	Not applicable.
Whether native vegetation is to be or can be protected, planted or allowed to regenerate	Not applicable.
The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard	Not applicable.

## 9. Policy Context

It is considered the proposal is consistent with the relevant State and Local Planning Policies as outlined below:-

### 9.1 State Planning Policy Framework

**Clause 12.01 – Biodiversity** – Contains policies relating to the protection of habitat and native vegetation management.

#### Response:

No native vegetation is to be removed from the site.

**Clause 15.01 – Urban Environment** – Contains policies relating to urban design, urban design principles, neighbourhood and subdivision design, density and safety and cultural identity and neighbourhood character.



Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale



**Clause 15.02 – Sustainable Development** – More specifically 15.02-1 Energy and Resource Efficiency aims to encourage land use and development that is consistent with the efficient use of energy and the minimisation of greenhouse gas emissions.

**Response:**

The proposal is considered to be an orderly and appropriately planned development that is close to public transport, schools, community facilities, shops and public open spaces. The proposal is located within an established residential area and the layout of the lots respect the existing surrounding development and provides for a safe and functional living environment by having lots facing directly onto the existing roads. The development will be connected to existing infrastructure to allow for maximisation of existing resources.

**Clause 16.01 – Residential Development** – Contains policies relating to integrated housing, location of residential development, housing diversity and housing affordability.

**Response:**

The proposal will add to the range of available housing and will assist to meet demand in this area. The site is located within an established residential area and the development will help to consolidate the urban area without consuming additional land for residential purposes. The design is appropriate to the existing character of the area. Physical and community infrastructure are located close to this site in Point Lonsdale Road.

**Clause 18.02-5 – Car Parking** – Aims to ensure an adequate supply of car parking that is appropriately designed and located.

**Response:**

The required number of car spaces for residents has been provided on site. No visitor parking is required.

**Clause 19.03-2 – Water Supply, Sewerage and Drainage** – This policy aims to plan for the provision of water supply, sewerage and drainage services that efficiently and effectively meet State and community needs and protect the environment.

**Response:**

All services are to be provided to each dwelling including reticulated water, sewer, drainage and electricity.

## 9.2 Local Planning Policy Framework

### 9.2.1 Municipal Strategic Statement

**Clause 21.04** Vision Strategic Framework – aims to underpin the strategic objectives of the Borough and the relevant visions with respect to this application are:

- provide attractive residential areas which are capable of accommodating the needs of resident and tourist populations, whilst maintaining residential amenity;



Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale



- require new developments to maintain, enhance, and harmonise with the Borough's significant heritage architecture and coastal village atmosphere.

**Response:**

The proposed development will have very little impact on the existing residential area. The proposed dwellings will maintain and enhance the Borough's urban character with the use of appropriate building materials and colours, hipped and gable roofs, double and single storey development located at the front of the site where there is no impact on the streetscape or adjoining properties.

**Clause 21.05-1 Settlement – aims to:**

- Maintain a stable permanent resident population.
- Allow for growth in appropriate locations.

**Response:**

The proposed development will add to and maintain a permanent resident population.

**Clause 21.05-2 Environment – aims to:**

- Preserve the biodiversity of flora and fauna.
- Protect the natural environment from inappropriate use and development.
- Encourage development that complements natural environment values.

**Clause 21.05-2 Urban Character – aims to:**

- To recognise and protect the significant cultural heritage and natural coastal atmosphere of the Borough.
- To ensure new development maintains, enhances and harmonises with the distinguishing cultural heritage identity of the township of Queenscliffe.
- To ensure new development does not reduce the integrity of significant areas of intact native or remnant indigenous vegetation within Queenscliffe.

**Response:**

There is limited vegetation on the site with no native vegetation to be removed from the site.

Dwelling 1 will be setback 6.0 metres from the frontage and setback from both side boundaries except for the garage wall. The design and materials to be used are a mixture of brick, Hebel brick, weatherboards and render are considered appropriate in the street and the design meets the existing character of this area. The use of appropriate building materials and hipped and gabled roofs will enhance the area and not be out of character with the neighbourhood.

**Clause 21.05-3 Housing – aims to:**

- Encourage environmentally sustainable housing and subdivision designs including the taking of opportunities for energy efficiency, improved storm and waste water disposal mechanisms.



Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale



**Response:**

Dwelling 1 is orientated north-south with the secluded private open space facing to the west allowing good use of the northerly sun. Internal living areas will have direct access to the western outdoor living areas. Use of large windows will allow appropriate daylight and sunlight into the habitable rooms.

Dwelling 2 will have secluded private open space to the east where access will be via an internal living room.

Appropriate stormwater will be collected in rainwater tanks and waste water disposal will be directed to the reticulated sewer.

### 9.2.2 Local Planning Policies

**Clause 22.04** Urban Character Policy – aims to:

- To recognise and protect the significant cultural heritage and natural coastal atmosphere of the Borough which distinguishes its special character;
- To ensure new development in Queenscliff maintains, enhances and is harmonises with the distinguishing cultural heritage identity of the township;
- To require new development in Queenscliff to have regard to the prevailing scale, style, height, siting, fencing, building materials and finishes of buildings in the core heritage centre of the town;
- To minimise the visual impact of new development in foreshore areas, having regard to building height and topographical features of the land, bulk, site coverage, external materials and finishes and the removal of vegetation; and
- To require all new development to have regard to the siting and design objectives and guidelines of the Borough of Queenscliffe Urban Character Study.

**Clause 22.04-1** Queenscliff Urban Character Policy – aims to:

To protect the following distinguishing elements of the character of the Queenscliff Urban Areas:

- The substantial and intact groupings of historic one and two storey Victorian and Edwardian buildings;
- The informality of streetscape materials and finishes including front fences;
- Broad straight streets with buildings abutting or close to the street frontage and side boundaries which creates a distinctive and relatively high density urban environment;
- Established exotic street tree planting and private gardens that frame views to building facades and reinforce the formality and historic appearance of the township.

**Response:**

The design objectives of the design and Development Overlay have been adequately addressed in Section 6.1 of this report.

## 10. Conclusion

In conclusion, it is considered that the development is appropriate for the following reasons:

- The development and subdivision meet the local planning policy objective for infill development and urban consolidation.
- The development is consistent with the purpose and strategic intent of the General Residential Zone.



Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale



- The development responds favourably to the decision guidelines of Clause 65.01.
- The development will result in the efficient use of existing infrastructure and will also help to reduce the pressure on urban expansion beyond designated growth boundaries.
- The development on the land is responsive to the principles for energy efficiency and the achievement of sustainable development.
- The new dwellings meet side and rear setbacks, site coverage and areas for future landscaping.
- The dwellings meet the local planning policy objectives of the urban character policy and including the design guidelines as detailed in Schedule 4 of the Design and Development Overlay

For these reasons, it is respectfully requested that Queenscliffe Borough Council issue a planning permit to allow for the development of the two dwellings on a lot, one being double storey and the other single storey at 8 Arkins Street, Point Lonsdale.

A handwritten signature in blue ink, appearing to read 'James Iles', written over a dotted line.

James Iles  
Town Planner

Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale

11. Photos of the site and surrounds



Existing double storey dwelling at 8 Arkins Street.



Existing driveway at 8 Arkins Street.



Rear section of the existing dwelling.

Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale



Rear section of the existing dwelling.



Rear yard of 8 Arkins Street.



Looking back towards the dwelling from the western boundary.

Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale



Looking east along the  
southern boundary.



Southern side of the dwelling.



Looking from the first floor  
deck over the rear yard of the  
site.



Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale



Northern side of the existing dwelling.



Northern elevation of the existing dwelling.



Rear service yard of 6 Arkins Street.



Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale



Southern side of 6 Arkins Street.



Overlooking the existing dwelling at 6 Arkins Street from rear first floor deck.



Overlooking the existing dwelling at 6 Arkins Street from rear first floor deck.



Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale



Rear yard of 10 Arkins  
Street.



Rear yard of 10 Arkins  
Street.



Rear of 48 Fellows Road.



Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale



Rear yard of 46 Fellows  
Road.



Rear yard of 16 Golightly  
Street.



12 Arkins Street.



Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale



11 Arkins Street.



10 Arkins Street (now demolished).



9 Arkins Street.



Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale



6 Arkins Street.



5 Arkins Street



4 Arkins Street.



Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale



3 Arkins Street



2 Arkins Street



1 Arkins Street.



Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale



Looking south along Arkins Street.



Looking north along Arkins Street.



Looking north along the naturestrips on the west side of Arkins Street.



Development of Two (2) dwellings  
8 Arkins Street, Point Lonsdale



Existing hedge at the front of  
8 Arkins Street.





**iPlanning Services P/L**

PO Box 1401  
Bakery Hill Vic 3354  
ABN 45 160 262 000



22 December 2014

Our Reference: P-00167  
Your Reference: 2014/080



Ms Leah Protyniak  
Senior Town Planner  
Borough of Queenscliffe  
PO Box 93  
**QUEENSLIFFE VIC 3225**

Dear Leah,

RE: **Planning Permit Application No. 2014-080**  
**The development of two (2) dwellings (Two storey dwelling and single storey dwelling) and outbuildings and variation to the side setback and wall length on boundary requirements of the Design and Development Overlay – Schedule 4**  
**8 Arkins Street, Point Lonsdale**

I refer to your letter dated 8<sup>th</sup> December 2014 requesting further information pursuant to Section 54 of the *Planning and Environment Act 1987* for the development of two (2) dwellings (Two storey dwelling and single storey dwelling) and outbuildings and variation to the side setback and wall length on boundary requirements of the Design and Development Overlay – Schedule 4 located at 8 Arkins Street, Point Lonsdale.

I provide you with the following response:

- Site Plan (ref. drwg no TP-1.2) shows boundary fence heights and dimensions of buildings from site boundaries and dimensions for S/W car park added to site plan TP-1.2;
- Elevation of garden shed to dwelling 2;
- Reference to external W/C, shower is removed from the plans;
- Elevations for gazebo (Please note revised location on site plan); and,
- Floor plan labelling amended – as requested

**Responses to initial assessment:**

- **Clause 55.02-1 Standard B1 Neighbourhood Character**  
As the application is not able to meet the Standard, the Objective must be met. Due to no parking being provided at the rear of the site for Dwelling 2, the location of the car space has been designated at the front of the site. It is argued that cars are currently parked in front of existing garages and the location of the proposed car space is no different to this situation. Cars are parked in front of garages on both sides of the street and in holiday periods, cars are parked on the street. It is no difference to vehicles being parked in front of the double garage for dwelling 1. No structure has been provided for this car space to reduce any potential conflict the neighbourhood character which is landscaped front gardens with vehicles parked in the front setback of properties.
- **Clause 55.02-5 Standard B5 Integration with the Street**  
As the application is not able to meet the Standard, the Objective must be met. Dwelling 2 is located at the rear of the site and is accessed via a walkway on the south side of Dwelling 1. Though no vehicular driveway provides access to the dwelling, there is still integration with the street via the walkway. Occupants of the dwelling will still secure and safe being provided by the occupants of dwelling 1.



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- **Clause 55.03-5 Standard B10 Energy Efficiency**  
Dwelling 2 has the kitchen, dining (open to the lounge room) and alfresco areas all located with a north-west orientation. Under the Building Regulations, dwelling 2 will meet all required energy ratings as required.
- **Clause 55.03-10 Standard B15 Parking Location**  
As the application is not able to meet the Standard, the Objective must be met. The objective states to provide convenient parking for resident and visitor vehicles and to protect residents from vehicular noise within the development. No visitor parking is required for Dwelling 2. The location of the car park for dwelling 2 is suitably located with appropriate access via an appropriate pathway that leads directly to the main entrance. The car space is considered to be secure, located behind proposed gates (refer to front fence design plan).
- **Clause 55.05-6 Standard B30 Storage**  
Secure storage of the required dimensions (6.0m cubic metres) has now been incorporated within the double garage for dwelling 1 (refer to amended plans).

**Clause 43.02 Design and Development Overlay Schedule 4:**

**Building Height**

Refer to the attached photographic representation of the Dwelling 1. This represents the degree of articulation through layering and palette of materials that is proposed.

- **Walls on boundaries**  
The redesign of Dwelling 2 has allowed for a 1.2 metre setback from the north-eastern boundary.

**Clause 22.04-2 Urban Character Policy:**

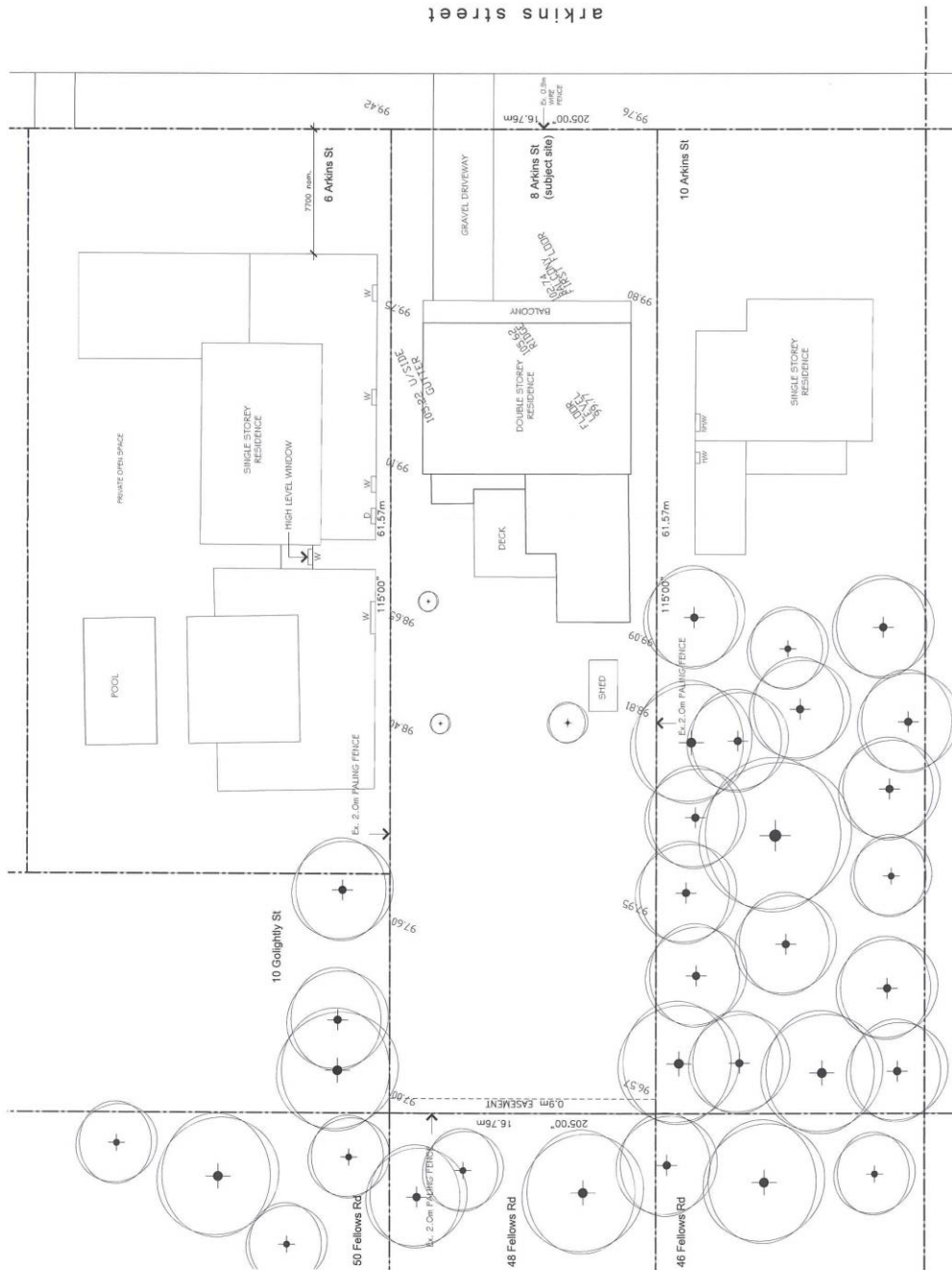
- **Site Layout**  
Dwelling 2 has the kitchen, dining (open to the lounge room) and alfresco areas all located with a north-west orientation. Under the Building Regulations, dwelling 2 will meet all required energy ratings as required.
- **Building Design**  
Dwelling 1 is actually characterised by staggering and varied roof lines which reduces the scale and height of the building. Please refer to the attached photo which represents the proposed design as viewed from the street.
- **Fencing, driveways and landscaping**  
The application is amended to include a front fence along the as Arkins Street frontage. The proposed fence is 1.5 metres in height and is constructed from timber slats that allows for transparency. Appropriate gates will be provided for both driveways. Appropriate landscaping will help to minimise the location of the car space at the front of the site.

Three (3) sets of updated plans and photographic representation is provided.

If you have any issues, please don't hesitate to contact me on 0408 577 880 or email [james.ips@ncable.net.au](mailto:james.ips@ncable.net.au).

Yours faithfully,  
iPLANNING SERVICES P/L

James Iles  
**Town Planner**



PRELIMINARY

**morton dunn ARCHITECTS**

**Bairrat:**  
150-152 Main St.  
Bairrat, VIC 3200  
Phone: 03 5331 8068  
Fax: 03 5331 7815  
Email: mda@mortondunn.com.au  
www.mortondunn.com.au

**Gellong:**  
150-152 Main St.  
Gellong, VIC 3218  
Phone: 03 5331 8068  
Fax: 03 5331 7815  
Email: mda@mortondunn.com.au  
www.mortondunn.com.au

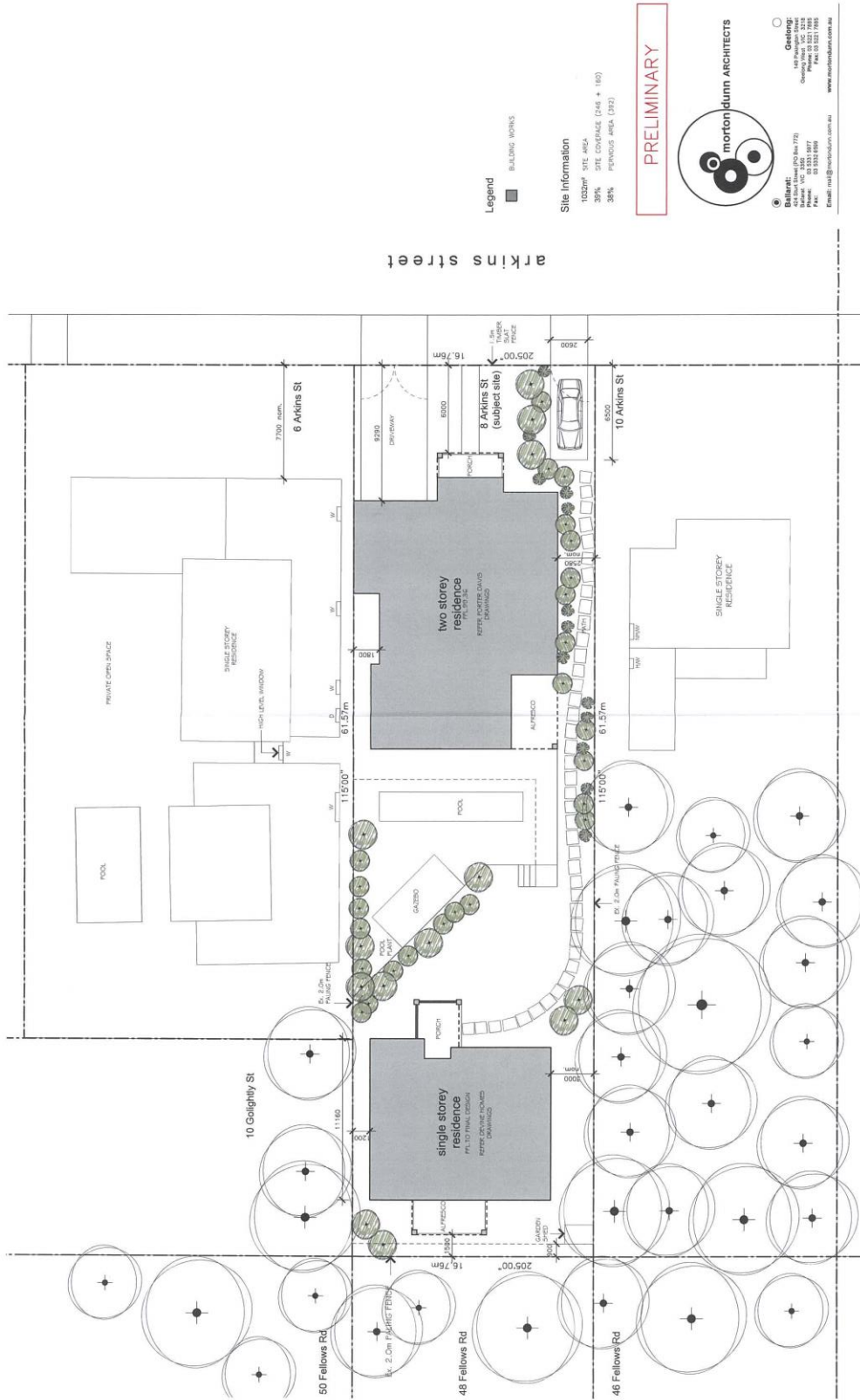
RECEIVED  
- 3 MAR 2015  
BOROUGH OF  
QUEENSLIFFE

job no. 14047  
date Oct 2014  
drawing no. TP-1.1

**A+**  
Member  
Australian  
Institute of  
Architects

existing site plan  
scale 1:250 (A3)

8 Arkins St, Pt Lonsdale



site plan  
scale 1:250 (A3)

8 Arkins St, Pt Lonsdale

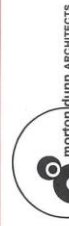
Legend

BUILDING WORKS

Site Information

1002m<sup>2</sup> SITE AREA  
30% SITE COVERAGE (248 + 180)  
38% PERVIOUS AREA (292)

PRELIMINARY



**Morton & Dunn ARCHITECTS**  
Geelong: 148 Pausanias Drive (200m N of 77th)  
Geelong VIC 3220  
Phone: 03 5232 8877  
Fax: 03 5232 1885  
Email: mda@mortondunn.com.au  
www.mortondunn.com.au

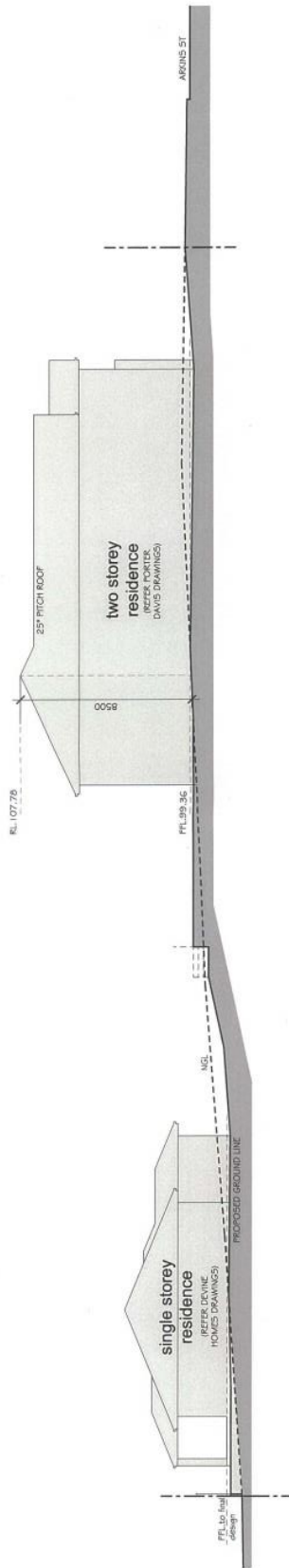
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drawing no. TP-1.2 (A)



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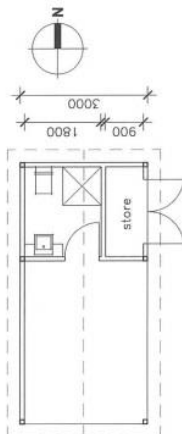
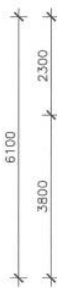
- 3 MAR 2015

BOROUGH OF QUEENSLIFFE



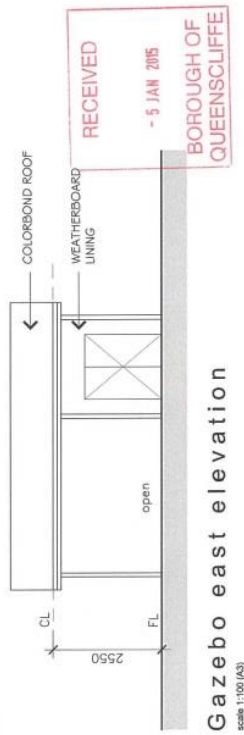
site section

scale 1:200 (A3)



Gazebo plan

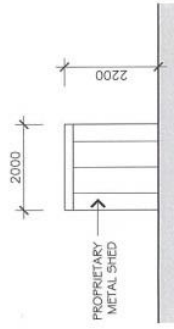
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Gazebo east elevation

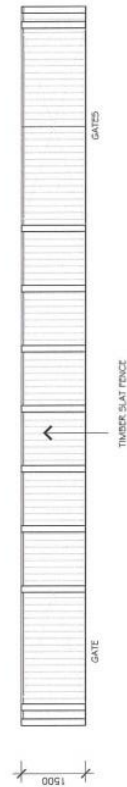
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PRELIMINARY



Shed east elevation

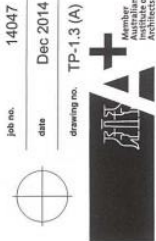
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Arkins St fence elevation

scale 1:100 (A3)

8 Arkins St, Pt Lonsdale



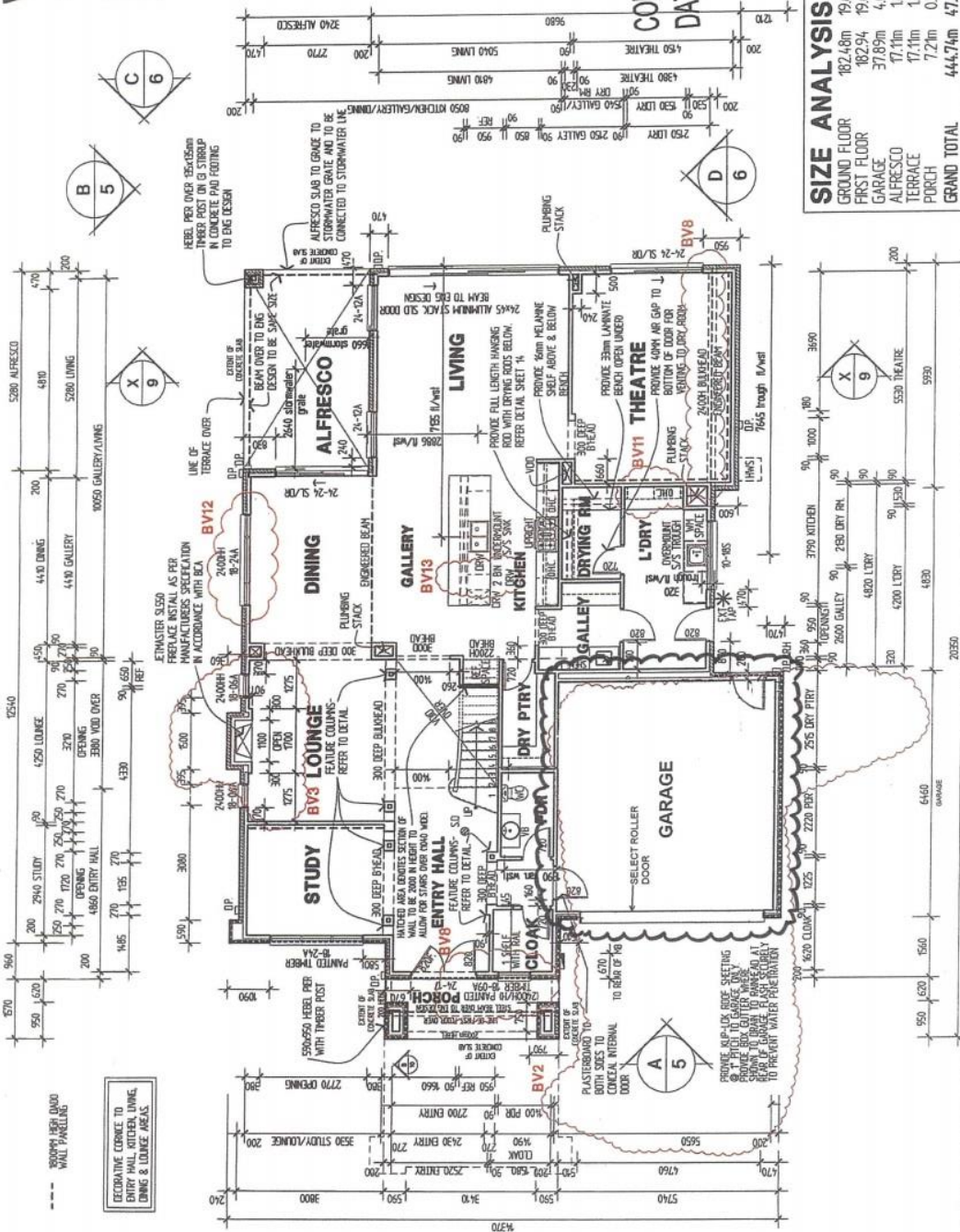


# WALDORF 48

## HAMPTON GRAND LIVING OPTION THEATRE OPTION

NOTE:  
CSR - REBEL WALL PANELS  
REGATE TO BE 20mm DEEP x 110mm WIDE

NOTE:  
PROVIDE 250mm HIGH LOOPS  
THROUGHOUT



CONSTRUCTION DRAWINGS  
DATE: 26/07/13  
RECEIVED  
- 5 JAN 2015  
BOROUGH OF QUEENSLIFFE

SIZE ANALYSIS

Room Type	Area (sqm)
GROUND FLOOR	182.48m
FIRST FLOOR	182.94m
GARAGE	37.89m
ALFRESCO	17.11m
TERRACE	17.11m
PORCH	7.27m
GRAND TOTAL	444.74m

CLIENT: PDH DISPLAYS PTY LTD  
ADDRESS: LOT 104 FLOWERBLOOM CRESCENT CLYDE NORTH  
MASTER ISSUED: 05/02/2010 BY: JPS

This drawing is sheet no. of drawings referred to in this contract agreement dated

PORTER DAVIS prestige  
Western Region Office  
Level 2, 59 Water Street  
Melbourne VIC 3006  
Tel: 03 9247 1000  
Fax: 03 9247 1001

DATE: 17/06/13  
SCALE: 1:100  
DRAWN: S20  
SHEET 3 OF 18



# WALDORF 48 HAMPTON

NOTE:  
CSI-HEBEL WALL PANELS  
REBATE TO BE 20mm DEEP x 100mm WIDE

NOTE:  
PROVIDE 2540mm HIGH DOORS  
THROUGHOUT

RECEIVED

- 5 JAN 2015

BOROUGH OF  
QUEENSLIFFE

WINDOWS TO BE CENTRED TO  
ROOMS +/-50mm AND TO SUIT  
BRICK NOMINALS UNLESS  
OTHERWISE SPECIFIED  
HARDWARED SHOCK ALARM WITH  
BATTERY BACKUP AS PER BCA  
REQUIREMENTS  
DOWNPIPE CONNECTED TO LPOD VIA  
90mm UPVC PIPE AS PER  
LOCAL AUTHORITIES REQUIREMENTS  
MAIN FOLE TO CEILING ACCESS  
LOCATION MAY VARY SLIGHTLY  
FLOOR TILES TO NET AREAS

UPPER STOREY  
WINDOWS TO OPEN  
HARDWARED SHOCK  
ALARM WITH  
BATTERY BACKUP

## CONSTRUCTION DRAWINGS

DATE: 26/07/13

JOB No.:	DP-113449
DATE:	17/06/13
SCALE:	1:100
SHEET	4 OF 18

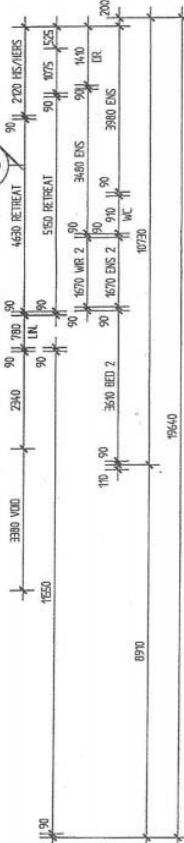
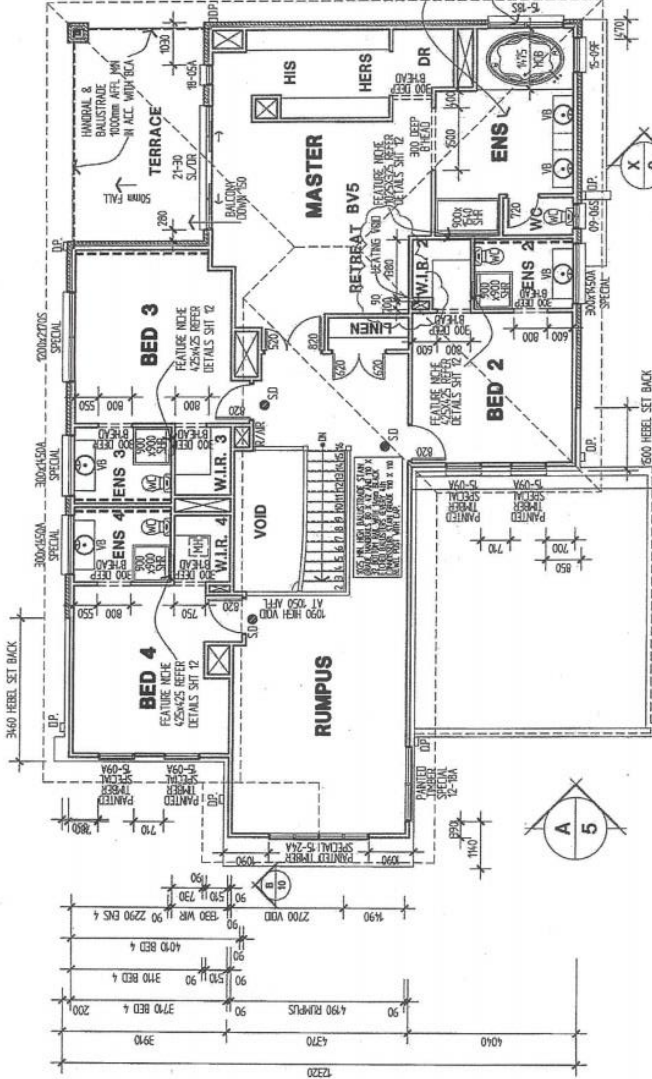
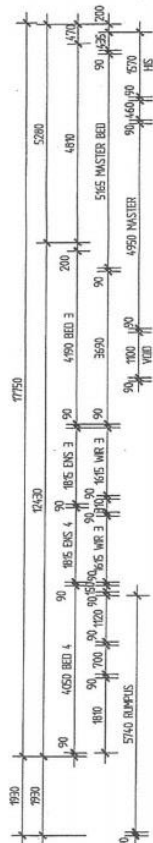
**PORTER DAVIS**  
*prestige*

Western Region Office  
4-4/4 Theunton Road  
Level 2, St. Albans Centre  
Phone 033 831 5600  
Fax 033 831 5609

This drawing is sheet no. 4 of 18 drawings  
referred to in this contract agreement dated 17/06/13

CLIENT:  
**PDH DISPLAYS PTY LTD**  
ADDRESS:  
**LOT 104 FLOWERBLOOM CRESCENT  
CLYDE NORTH**

MASTER ISSUED: 05/02/2010 BY: JPS





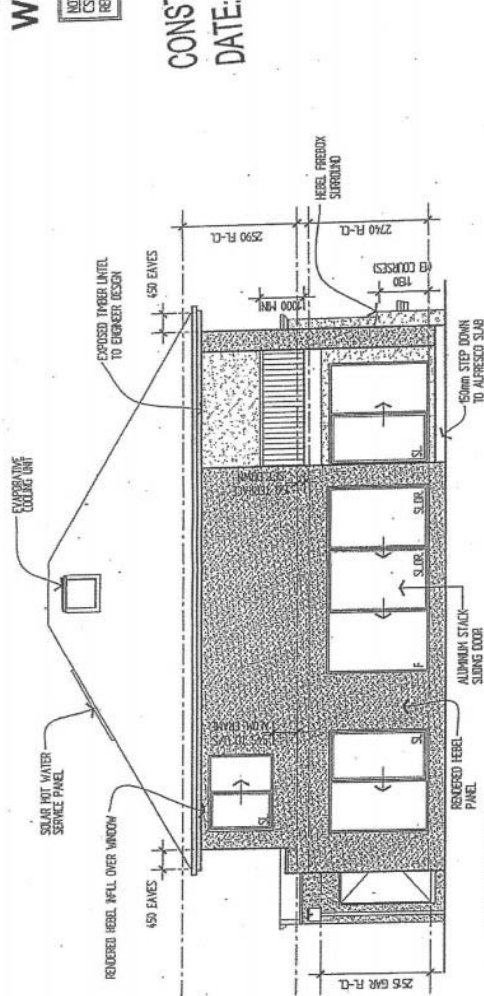


# WALDORF 48

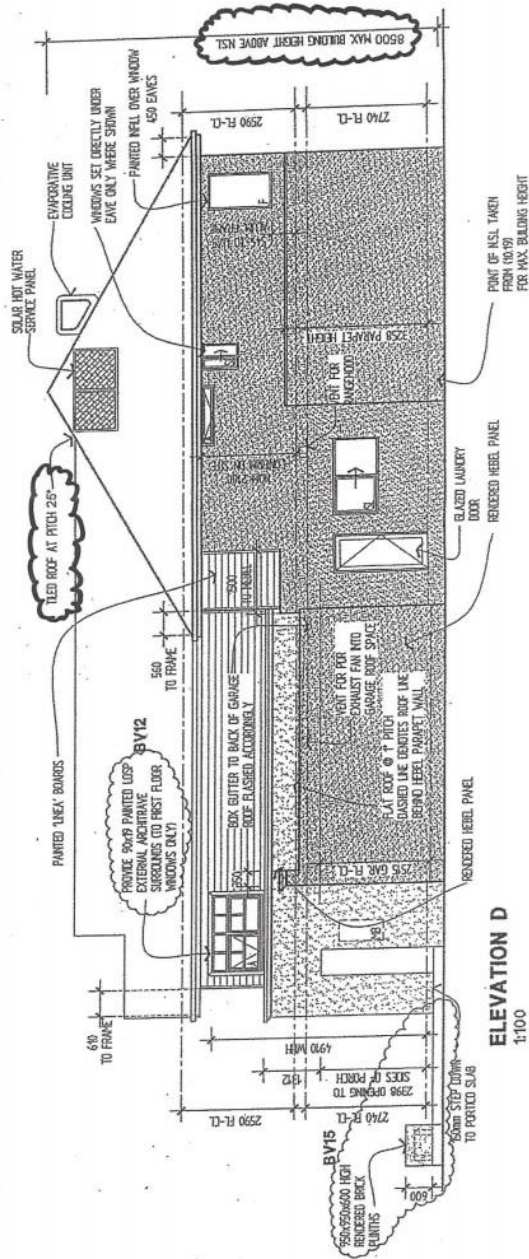
NOTE:  
CSR-HEBEL WALL PANELS  
REBATE TO BE 20mm DEEP x 10mm WIDE

## CONSTRUCTION DRAWINGS

DATE: 26/07/13



ELEVATION C  
1:100

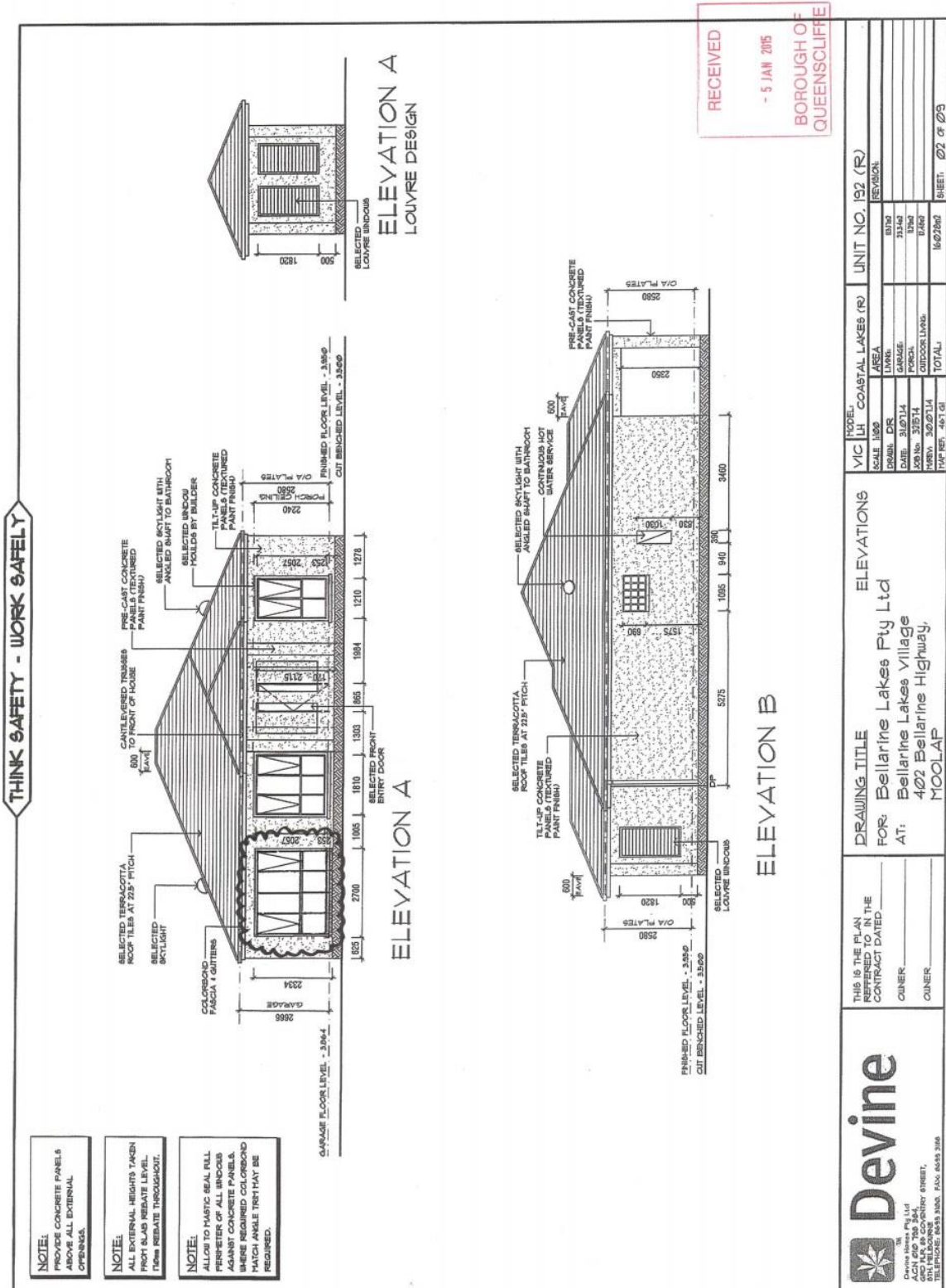


ELEVATION D  
1:100

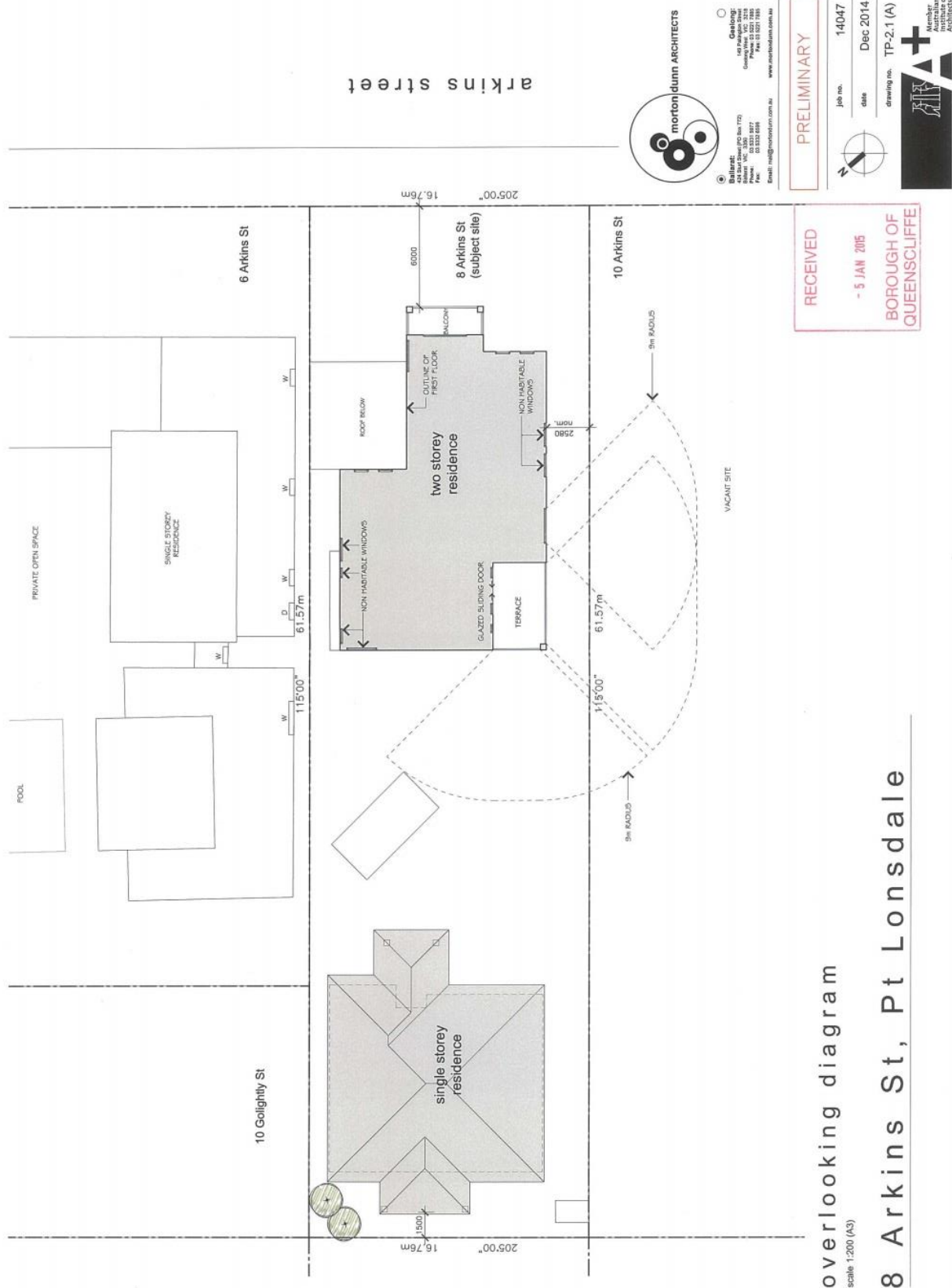
RECEIVED  
- 5 JAN 2015  
BOROUGH OF  
QUEENSLIFFE

CLIENT: <b>PDH DISPLAYS PTY LTD</b> ADDRESS : <b>LOT 104 FLOWERBLOOM CRESCENT CLYDE NORTH</b>	This drawing is sheet no. <u>6</u> of <u>18</u> drawings referred to in this contract agreement dated <u>17/06/13</u>  <small>This work is exclusively owned by RSC PROPERTY HOLDINGS Pty Ltd and cannot be reproduced or copied, after audit or in part, in any form (graphic, electronic or mechanical, including photocopying) without the written permission of RSC PROPERTY HOLDINGS.</small>	<b>PORTER DAVIS</b> <i>prestige</i> <small>Western Region Office Eastern Region Office RSC PROPERTY HOLDINGS Pty Ltd Marine Parade, Suite 200 Hart House, 100-102 Phone 03 9371 5000 Fax 03 9371 5001</small>	JOB No.: <b>DP-113449</b>
			DATE: <b>17/06/13</b>
			SCALE: <b>1:100</b>
			SHEET <b>6</b> OF <b>18</b>













**6. APPENDIX 2 (CONFIDENTIAL) – SUBMISSIONS: 8 Arkins Street, Point Lonsdale**

Provided to Councillors under separate cover

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## 7. APPENDIX 3- APPLICANTS RESPONSE TO SUBMISSIONS, 38 Kirk Road, Point Lonsdale

**iPlanning Services P/L**  
PO Box 1401  
Bakery Hill Vic 3354  
ABN 45 160 262 000



2 March 2015

Our Reference: P-00167  
Your Reference: 2014/080

Ms Leah Protyniak  
Senior Town Planner  
Borough of Queenscliffe  
PO Box 93  
**QUEENSCLIFFE VIC 3225**

Dear Leah,

**RE: Planning Permit Application 2014/080  
8 Arkins Street, Point Lonsdale**

I refer to your letter dated 23<sup>rd</sup> February 2015 regarding objections to Planning Permit Application 2014/080 for 8 Arkins Street, Point Lonsdale.

I wish to respond to the objections as follows:

- **Shirley & Glynn Harvey – 6 Arkins Street**  
We would agree to the pool plant being enclosed to reduce any noise to adjoining landowners. This can be a condition on the permit.
- **Alex & Gabrielle Harper – 10 Golightly Street**  
We are happy for the rear unit roof to be clad in colourbond material to comply with Council's colours. This can be a condition on the permit.
- **Carolyn MacAffe – 46 Fellows Road**  
We agree to replace the fence at half costs with the owner at 46 Fellows Road (Fences Act) but are willing to construct a screen above the fence at the owner's cost of 8 Arkins Street.
- **J Calvert – 10 Arkins Street**  
We will provide updated plans highlighting the location of the existing dwelling at 10 Arkins Street. A copy of these plans will be provided tomorrow at our meeting.

If you have any issues, please don't hesitate to contact me on 0408 577 880 or email [james.ips@ncable.net.au](mailto:james.ips@ncable.net.au).

Yours faithfully,  
**iPLANNING SERVICES P/L**

James Iles  
**Director/Town Planner**



**8. CLOSE OF MEETING**