



Appendix 1

4.1 44 Gellibrand Street, Queenscliff

APPLICATION DOCUMENTS

Planning Review Meeting

Wednesday 8 July 2015 at 7:00pm

Queenscliff Town Hall
50 Learmonth Street, Queenscliff

Information contained in this Appendix is for the CONFIDENTIAL and
PRIVILEGED use of Councillors



Borough of Queenscliffe
Planning Enquiries
Phone:
Web: www.queenscliffe.vic.gov.au

Clear Form

Office Use Only Application No.:

Date Lodged: / /

Application to AMEND a Planning Permit

If you need help to complete this form, read [How to complete the amend a Planning Permit form](#).

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.

This form cannot be used to amend a permit issued at the direction of VCAT.

Questions marked with an asterisk (*) are mandatory and must be completed.

The Land **1**

1 Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.: 44	St. Name: Gellibrand Street
Suburb/Locality: QUEENSCLIFF		Postcode: 3225

Formal Land Description *
Complete either A or B.

This information can be found on the certificate of title.

A	Lot No.: 2	<input type="radio"/> Lodged Plan	<input type="radio"/> Title Plan	<input checked="" type="radio"/> Plan of Subdivision	No.: 346818Q
OR					
B	Crown Allotment No.:	Section No.:			
Parish/Township Name:					

Street No.	Street Name	Street Type	Suburb	State	Postcode	Lot	Unit

Address matches

User ID	Password	Tier1 ID
Tier2 ID	Tier3 ID	Tier4 ID

If this application relates to more than one address, please click this button and enter relevant details.

Add Address

Planning Permit Details **1**

2 What permit is being amended? *

Planning Permit No.: 2012.048

The Amended Proposal **1**

You must give full details of the amendment being applied for. Insufficient or unclear information will delay your application.



- ③ What is the amendment being applied for? *
- Indicate the type of changes proposed to the permit.
 - List details of the proposed changes.
- If the space provided is insufficient, attach a separate sheet.*

This application seeks to amend:

☐ what the permit allows ☒ plans endorsed under the permit

☐ current conditions of the permit ☐ other documents endorsed under the permit

Details: Proposed amendments to specific external alterations and additions approved under Permit 2012.048 as detailed in the accompanying letter from Hansen Partnership Pty Ltd dated 29 April 2015.

☒ Provide plans clearly identifying all proposed changes to the endorsed plans, together with; any information required by the planning scheme, requested by Council or outlined in a Council checklist; and if required, include a description of the likely effect of the proposal.

Development Cost ⓘ

- ④ Estimate cost of development *
- If the permit allows **development**, estimate the cost difference between the development allowed by the permit and the development to be allowed by the amended permit.

Cost of proposed amended development	Cost of the permitted development	Cost difference (+ or -):
\$ >100,001.00	\$ >100,001.00	= \$ NA

Insert 'NA' if no development is proposed by the permit (eg. change of use, subdivision, removal of covenant)

⚠ You may be required to verify this estimate.

Existing Conditions ⓘ

- ⑤ Describe how the land is used and developed now *
- eg. vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Have the conditions of the land changed since the time of the original permit application? ☐ Yes ☒ No

If yes, please provide details of the existing conditions.

☒ Provide a plan of the existing conditions if the conditions have changed since the time of the original permit application. Photos are also helpful.

Title Information ⓘ

- ⑥ Encumbrances on title *
- If you need help about the title, read: [How to complete the Application to Amend a Planning Permit form](#)

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

☐ Yes. (If 'yes' contact Council for advice on how to proceed before continuing with this application.)

☒ No

☐ Not applicable (no such encumbrance applies).

☒ Provide a full, current copy of the title for each individual parcel of land forming the subject site. (The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', eg. restrictive covenants.)

Applicant and Owner Details ⓘ

- ⑦ Provide details of the applicant and the owner of the land.
- Applicant ***

The person who wants the permit.

Name:

Title: First Name: Surname:

Organisation (if applicable): The Parkhill Group (Aus) Pty Ltd c/- Hansen Partnership Pty Ltd

Postal Address:

Unit No.: St. No.: Level 3, Tower 3 St. Name: World Trade Centre, Siderley Street

Suburb/Locality: Melbourne State: VIC Postcode: 3005



29 April 2015

our reference: 2015.096

Ms Leah Protyniak
Senior Statutory Planner
Borough of Queenscliffe
PO Box 93
Queenscliff VIC 3225



Dear Ms Protyniak,

**re: application to amend planning permit no. 2012.048
44 gellibrand street, queenscliff (vol 10417 folio 166)**

Hansen Partnership Pty Ltd represents the owner and occupier of land at 44 Gellibrand Street, Queenscliff, Lathamstowe. We have been requested to prepare an amendment to Planning Permit 2012.048, issued on 9 August 2012 for alterations and extensions to the existing Lathamstowe mansion.

The Lathamstowe mansion is a Victorian era building and is listed on the Victorian Heritage Register (H1052). Given the site's registration on the Victorian Heritage Register, the proposed amendment to Planning Permit 2012.048 required approval under the Heritage Act 1995. Permit No. 22392 was granted on 30 March 2015. The plans being submitted with this amendment are identical to those which have been endorsed under Permit No. 22392.

The proposed modifications to the endorsed plans demonstrate a high level of compliance with the relevant planning policies and provisions of the Queenscliffe Planning Scheme. The revised restorative works will better contribute to the integrity of the heritage place, with the proposed additions remaining relative in terms of scale, form and design to that of the existing permit. The proposal is compliant with the requirements of the Design and Development Overlay, Schedule 1 (DDO1), and is considered suitable to the significance of the heritage place, the character of the building, and the broader neighbourhood context.

In support of the application, please find enclosed:

- Three copies of site and floor plans prepared by Trethowan Architecture;
- Completed application for an amendment to a planning permit, and the accompanying application fee of \$490.00; and
- Copy of Certificate of Title.

This application to amend Planning Permit 2012.048 is being made to the Borough of Queenscliffe as the Responsible Authority pursuant to Section 72(1) of the Planning and Environment Act 1987.

hansen partnership pty ltd
melbourne | vietnam

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melbourne, vic 3000
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e info@hansen-online.com.au
w www.hansen-online.com.au
ABN 20 079 864 716 | ACN 079 864 716



This letter considers the following relevant matters:

1. Description of subject site
2. Details of the proposed changes
3. State and Local Planning Policy
4. Design and Development Overlay, Schedule 1
5. Heritage Overlay, Schedule 23
6. Neighbourhood Residential Zone, Schedule 1
7. Conclusion

1. subject site

The subject site is located on the western side of Gellibrand Street, between Hobson Street to the north and Stokes Street to the south. To the west is Hesse Street, which is the main commercial street of Queenscliff, and provides a key vehicular route to and from the Queenscliff ferry terminal, linking Queenscliff to the Mornington Peninsula at Sorrento. The site location is outlined in red in Figure 1 below:



figure 1 – subject site and surrounding properties

The site is irregularly shaped, with a frontage of 38.97 metres to Gellibrand Street and a depth which varies from 34.41 metres (south) to 50.82 metres (north). Overall, the site has an area of 1,642 square metres.



The site is occupied by a two storey, Victorian era building with tower. The building is designed in the Classical Revival Style, with arcaded verandahs supported on cast-iron columns on each of the two storeys along both street elevations. The central tower, with its cast iron stair rises some 22 metres above ground level.

Landscaping comprises of perimeter hedging and scattered trees throughout the site. Some removal of vegetation within recent years has exposed the back wall of the church building (now used for commercial/retail purposes) fronting Hesse Street further west, to views from the existing driveway entry of the site in the Gellibrand Street frontage.

The site does not have a discernible slope.

2. details of the proposal

An amendment is sought for Planning Permit 2012.048 to make alterations to the endorsed buildings and works for the existing building on the site. Specific details of these amendments, as they relate to the external buildings and works are detailed as follows:

Planning Permit 2012.048 and P18083 (Heritage Act 1995)	Permit P22392 – advertised plans under Heritage Act 1995	Permit P22392 – endorsed plans which form application for amendment to Planning Permit 2012/048
Addition of garage attached to north side of dwelling setback 10.5 metres from front boundary (3.2 m behind edge of existing bay window). Raised roof at rear of garage, new wall alongside existing boundary fence	Garage set forward 1.3 metres from approved setback, now 1.9 metres behind bay window	No change, approved as advertised
Sitting/sun room addition to south west corner suspended at first floor with deck below facing Stokes St	Two storey sitting /sun room addition to south west corner facing Stokes St, smaller footprint than previously approved	Addition completely deleted, restored facades post removal of existing weatherboard suspended stairwell enclosure
Partially enclosed pool addition to north side of former servants wing, extended single storey component to north west	Pool enclosure extended to the north 2.6 metres from approved plan and single storey outdoor dining component at north west	Second storey north wall pulled back to align with wall of existing building, replaced with balcony over ground floor addition with glass



corner. Second storey addition along north side with alignment generally consistent with northern wall of main building	corner extended out to the north and west, flat roof. Second storey component extended out to the north by 2.8 metres, minor extension out to the east and west.	balustrade
Roof deck and inclusion of lift overrun (central position)	Lift overrun shifts marginally to the north	No change, approved as advertised
Alterations to specified openings as marked	Alterations to specified openings as marked	Alterations to specified openings as marked and consequent to deletion of sitting/sunroom element

The above works are required to further conserve the building's habitability and to meet modern living standards. The building is 130 years old and was originally built for use as two dwellings for the clergy. More recently it was used as a boutique bed and breakfast operation. The permitted buildings and works aim to modernise the liveability of the building to current living standards, convert its use to one dwelling (no permit required), while maintaining the architectural and heritage integrity of the building. Full details of the proposed amendments are shown on the plans prepared by Trethowan Architecture.

The proposed amendments to Planning Permit 2012.048 are required given for consistency with the plans endorsed recently by Heritage Victoria as part of Permit P22392.

3. state and local planning policy framework

The following provisions of the State and Local Planning Policy Frameworks are relevant to an assessment of the applications.

Clause 15.03 – Heritage

Clause 15.03-1 seeks to *ensure the conservation of places of heritage significance*. The proposed amendment to buildings and works have received a permit from Heritage Victoria. The integrity of the heritage building was paramount in the revision of approved works.

Clause 21.04 – Vision – Strategic Framework

The vision underpinning all of the strategic objectives of Council's Municipal Strategic Policy (MSS) is that the *Borough of Queenscliffe will maintain its unique natural environment, built and cultural heritage values through the careful planning of land use and development for the benefit of the community*. The amendment to the approved buildings and works for Lathamstowe are an appropriate response to this vision.



Clause 22.03 – Heritage

Clause 22.03-4 seeks to retain the relationship of Lathamstowe and the Ozone, the two largest buildings in the area, to the topography of the area forming as they do, a focal point for the town. The proposed amendment to buildings and works will further refine this relationship, and the use of Lathamstowe as a permanent residence will ensure the long term maintenance and conservation of the building. The clause is not relevant given a permit has been issued for the proposed amendments under the Heritage Act 1995.

Clause 22.04 – Urban Character

Clause 22.04-1 seeks to protect the substantial and intact groupings of historic one and two storey Victorian and Edwardian era buildings. The proposed amendments to the approved buildings and works will ensure the long term conservation and maintenance of the heritage place, consistent with the objectives of this policy.

4. design and development overlay, schedule 1 (DDO1)

The property is subject to Schedule 1 of the Design and Development Overlay (DDO1). The locality of the subject site is illustrated in red in Figure 2 below.

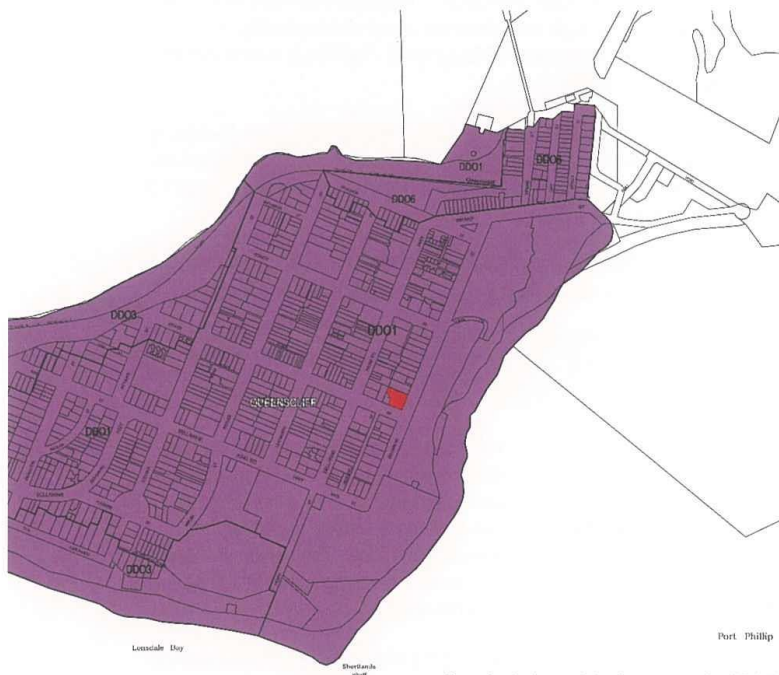


figure 2 – design and development overlay (DDO1)



Relevant objectives under the Design and Development Overlay Schedule 1 are as follows:

- *To ensure new development maintains, protects and enhances the distinguishing elements of the urban character of the Queenscliff township, such as:*
 - *The substantial and intact groupings of historic one and two storey Victorian and Edwardian buildings.*
 - *The unique mix of historic building scales and types varying from grand freestanding hotels and landmark buildings to intimate single storey cottages.*
- *To protect the heritage values of buildings, sites or objects listed in the Heritage Overlay.*
- *To require all new development to have regard to the urban character policies contained in the MSS and to the 'Building Siting and Design Guidelines' contained in the 'Borough of Queenscliffe Urban Character Study'.*

It is clear that the DDO seeks to protect and enhance the distinguishing features of the Queenscliff township, such as the many Victorian era buildings, the protection of shorter views to historic buildings and streetscapes, and so on. The design objectives also seek to ensure the height, form, mass, siting, style and materials of new developments is responsive to the heritage qualities of the town of Queenscliff. Heritage is clearly identified as the defining character of Queenscliff.

A permit is not required to carry out routine or preventative maintenance works to existing structures. A permit is required for all other external buildings and works, including a front fence. DDO1 also outlines a series of requirements relating to the use and development of land which are addressed in the table below.

The applicable requirements of DDO1 are addressed as follows and demonstrate that the proposed amendment to the approved buildings and works satisfy these requirements.

Requirements	Response
<i>No building can exceed a height of:</i> <ul style="list-style-type: none">▪ <i>Two storeys; and</i>▪ <i>8.5 metres above natural ground level.</i> <i>The requirements cannot be varied with a permit, except where alterations and additions are sought to an existing building that exceeds 2 storeys or 8.5m in height, but which do not increase the maximum</i>	<p>The existing building incorporates a tower with a maximum height of 21.5 metres above ground level. This is significantly more than the 8.5 metre maximum height allowed by the DDO. The maximum height of the tower will not be increased as part of this amendment.</p> <p>Permit 2012.048 approved a lift overrun on the roof deck level. This application requires the location of the lift overrun to be shifted marginally (as shown on</p>



<p>height of that building.</p> <p>Despite the maximum building height stated above, a lesser building height may be necessary in order to:</p> <ul style="list-style-type: none">▪ Reflect a 'bottom up' rather than 'top down' approach to building design;▪ Satisfy the objectives contained under Clause 21.05;▪ Satisfy the 'Building Siting and Design Guidelines' contained in the 'Queenscliffe Urban Character Study';▪ Reflect the prevailing building height in the immediate area, especially in streets that are predominantly single storey in character; and▪ Take into consideration the reasonable sharing of views.	<p>Drawing TP-220) from the approved position, at the same height, design and dimensions.</p> <p>The proposed amendment to the approved two storey addition between the mansion building and former servants building matches the maximum height of the former servants buildings (at 8.51m), and thus complies with this requirement.</p>
<p>New buildings must also meet the following requirements:</p> <ul style="list-style-type: none">▪ The front setback should either match that of adjacent buildings or if the setback of those buildings are different should be between the setbacks of those buildings, or should be equal to the average front setback of buildings in the street, whichever is the greater of the two.▪ Side and rear setbacks are to be a minimum of 1.0 metres for a single storey building (up to a wall height of 3.6 metres) and a minimum of 1.92 metres for a two storey building (up to a height of 6.0 metres), or are to equal the side and rear setbacks of buildings on adjoining land.▪ Buildings should not be built on side and rear boundaries unless this is a dominant feature of	<p>The proposed amendment includes a reduction to the front setback of the approved garage by 1.3 metres. However, the garage remains sited behind the bay window projection of the heritage building. Side boundary setback remains as approved.</p>



<i>buildings in the street.</i>	
<i>At least 50% of the required private open space on a site should be 'soft landscaping' (i.e. vegetation). Hardstand areas should consist of porous surfaces.</i>	The proposed amendment to the approved buildings and works are considered minimal, and would not impact on the landscaped conditions of the Lathamstowe mansion. The permit approved additional screening trees along the rear (western) boundary (completed), and considered the approved works to be in keeping with the 'grand' character of the building.
<i>Front fences should be no height than 1.3m and should complement the design, architecture, era, materials and finishes of the building on the land and other buildings and fences throughout the street.</i>	No alterations are proposed to the front fence.
<i>Buildings should not occupy more than 40% of the area of a site.</i>	The proposed amendments result in a site coverage of 46% and private open space of 54%. This building site coverage is a marginal increase over what has been approved and does not affect any visible garden areas (from the two street frontages). The proposed amendment will remove an addition previously approved (sunroom) along the Stokes Street façade of the building.
<i>Any subdivision, building or works adjoining a building, site or object listed in a heritage overlay will require plans and a report to be submitted showing how the subdivision, buildings or works are sympathetic to the character and amenity of the adjoining building.</i>	This matter was considered under the Heritage Act by Heritage Victoria.



5. heritage overlay, schedule 23 (HO23)

The property is subject to Heritage Overlay, Schedule 23 (HO23). The locality of the subject site is illustrated in red in Figure 3 below.

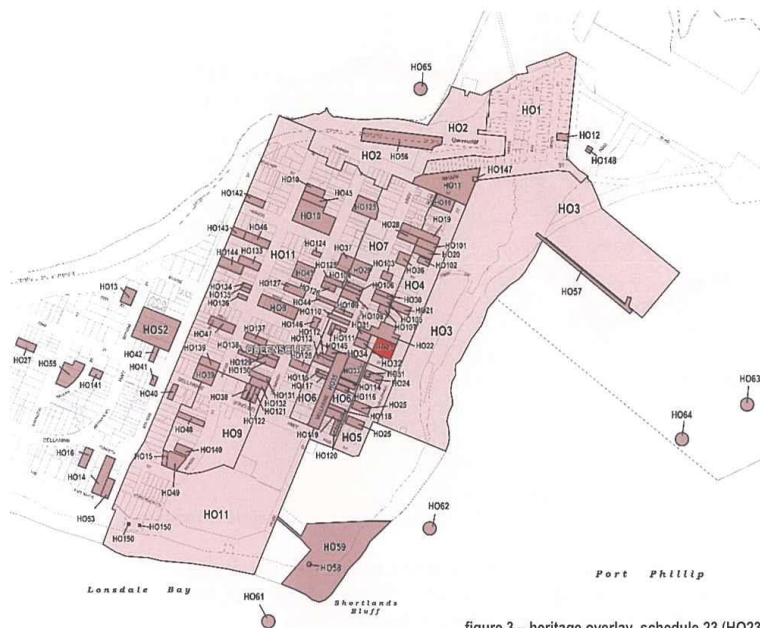


figure 3 – heritage overlay, schedule 23 (HO23)

In accordance with the provisions of the Heritage Overlay (Clause 43.01-2) of the Queenscliffe Planning Scheme, a planning permit is not required to develop a heritage place which is included on the Victorian Heritage Register if a permit has been granted under the Heritage Act 1995. HO23 (Lathamstowe) is included on the Victorian Heritage Register (H1052) under the Heritage Act 1995. Given the proposed works have been approved by Heritage Victoria through the issue of Permit No. 22392, we submit that all relevant heritage issues have already been considered and approved.

6. neighbourhood residential zone, schedule 1 (NRZ1)

The subject site is located within the Neighbourhood Residential Zone, Schedule 1. The locality of the subject site is illustrated in red in Figure 4 below.

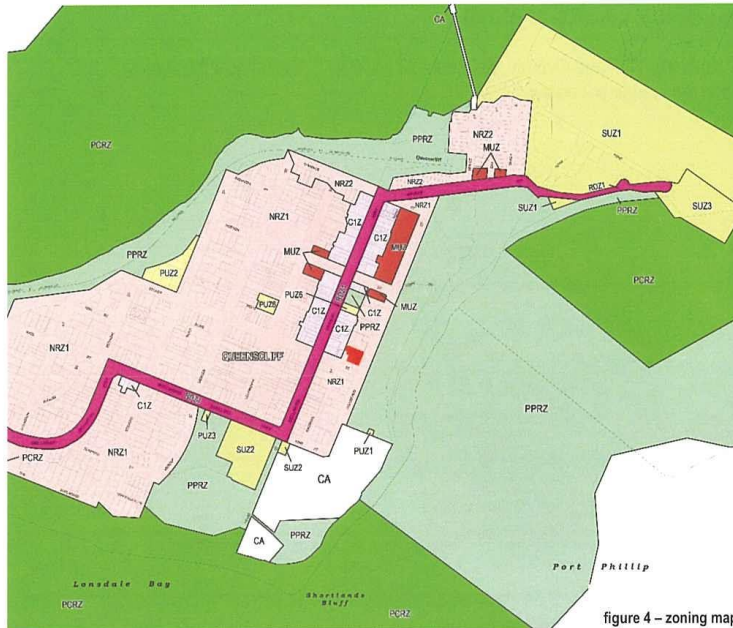


figure 4 – zoning map

A permit is required to construct or extend one dwelling on a lot less than the lot size specified in a schedule to this zone. The lot is in excess of 500sqm and as such, the proposed amendments do not trigger a permit under the land use zoning.

7. Conclusion

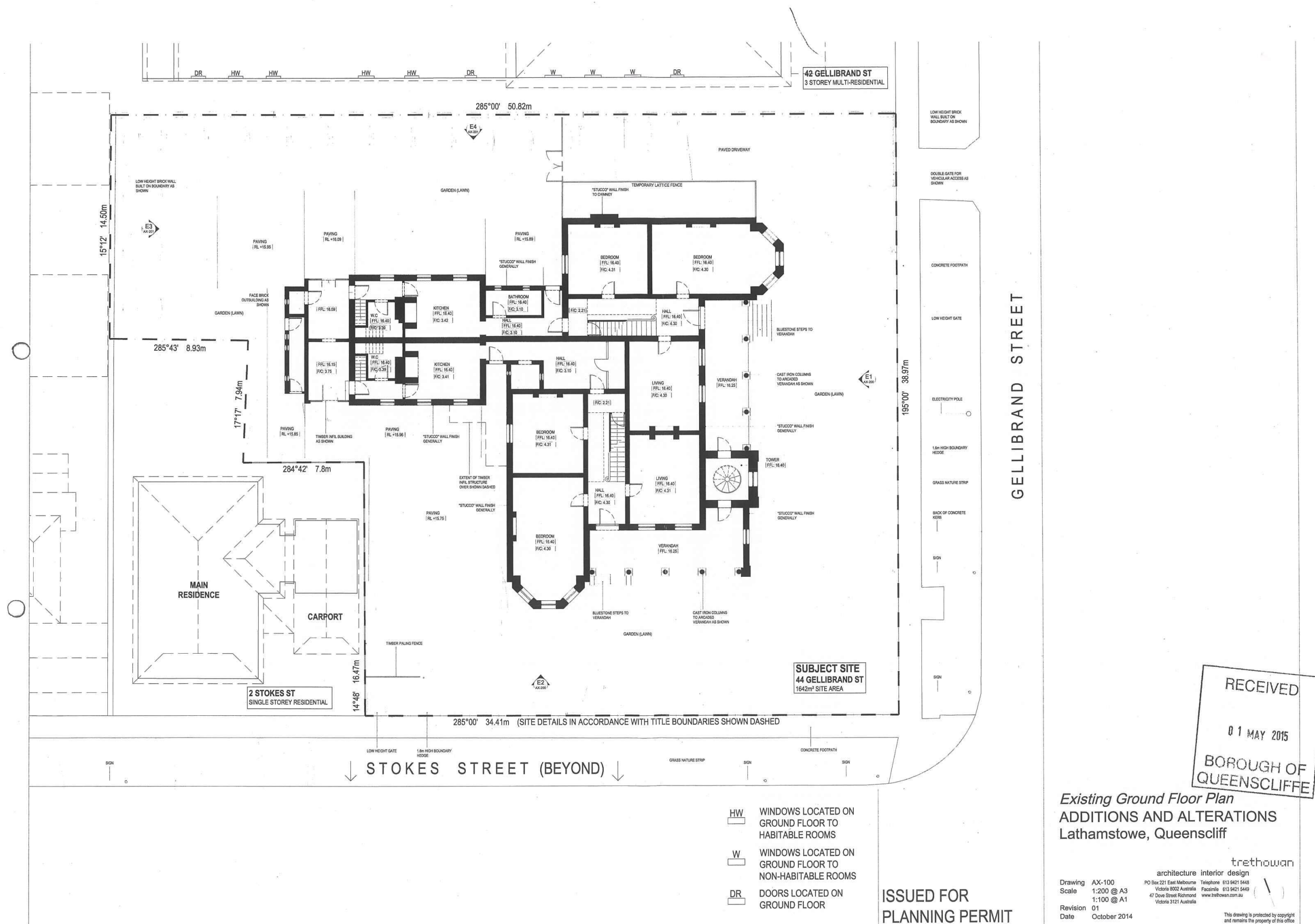
In conclusion, it is submitted that the proposed amendments to Planning Permit 2012.048 are consistent with the objectives and decision guidelines of Schedule 1 of the Design and Development Overlay.

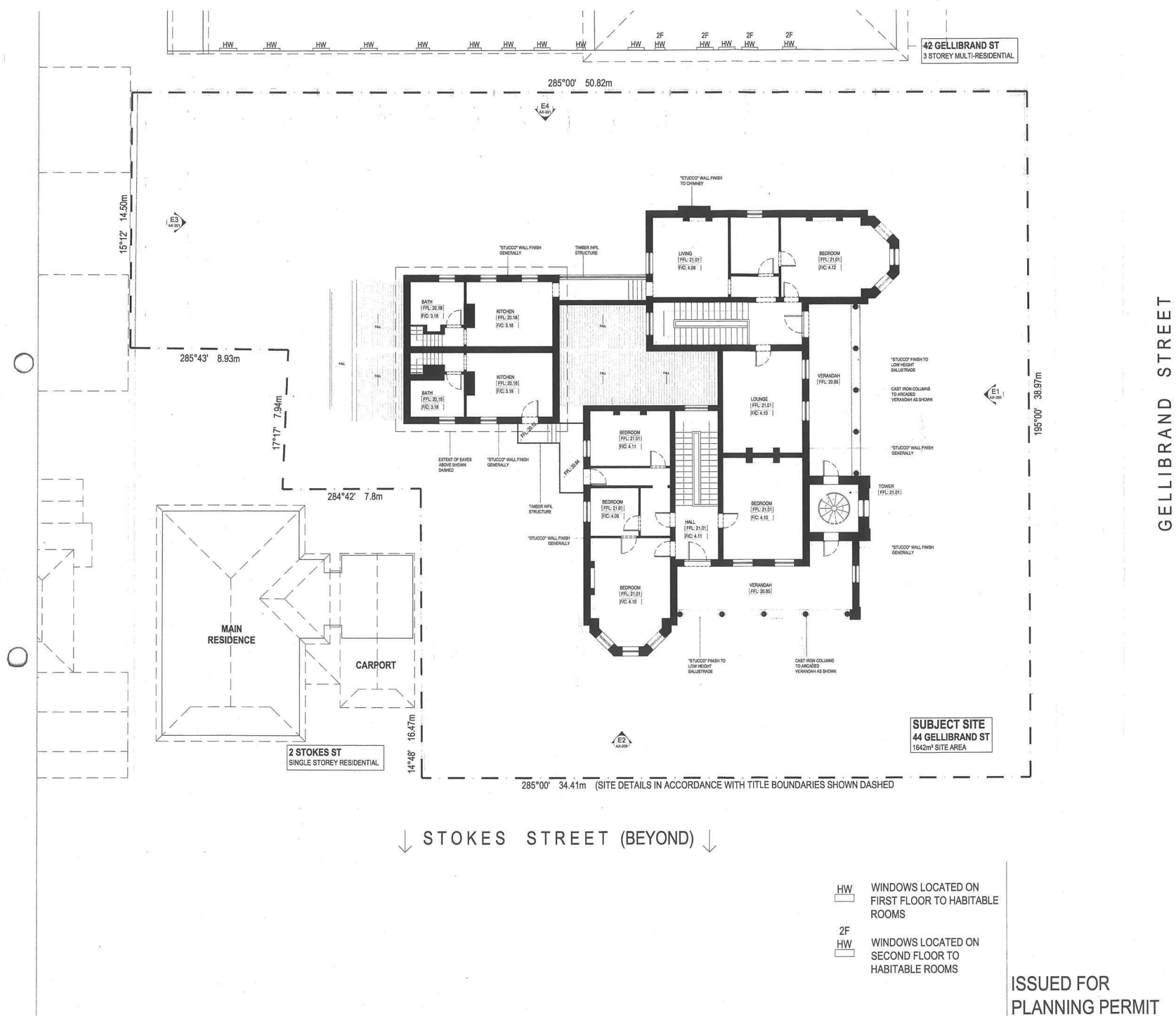
Should you have any queries in relation to this matter, please contact the undersigned on 0418 530 210 or srigo@hansen-online.com.au.

Yours faithfully,

hansen partnership pty ltd

sandra rigo
director





Existing First Floor Plan
ADDITIONS AND ALTERATIONS
Lathamstowe, Queenscliff

trethowan
architecture interior design
Drawing AX-101
Scale 1:200 @ A3
Revision 01
Date October 2014

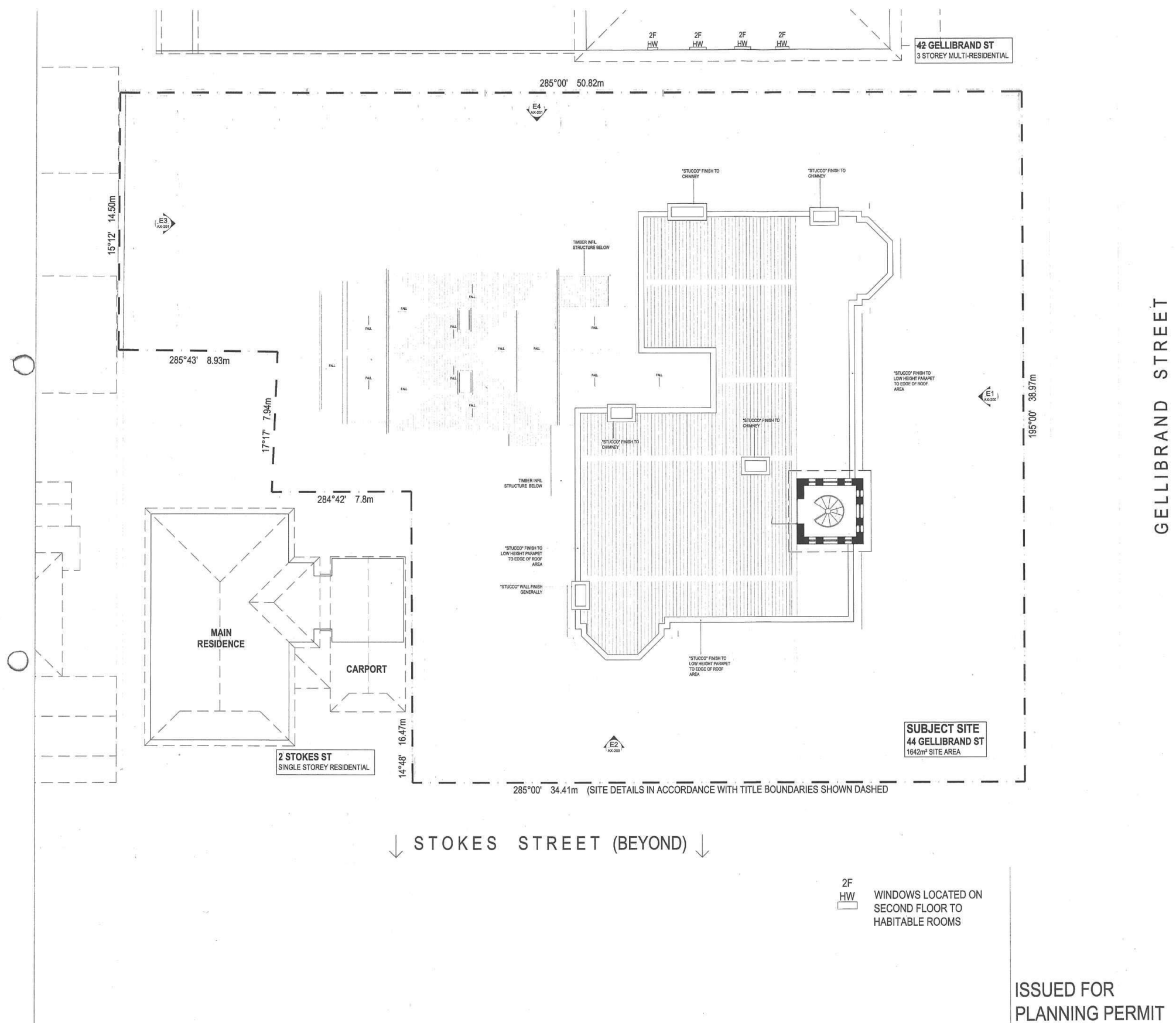
PO Box 221 East Melbourne
Victoria 3002 Australia
47 Dove Street Richmond
Victoria 3121 Australia

Telephone 613 9421 5448
Facsimile 613 9421 5449
www.trethowan.com.au

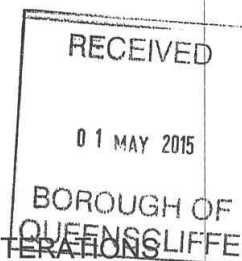
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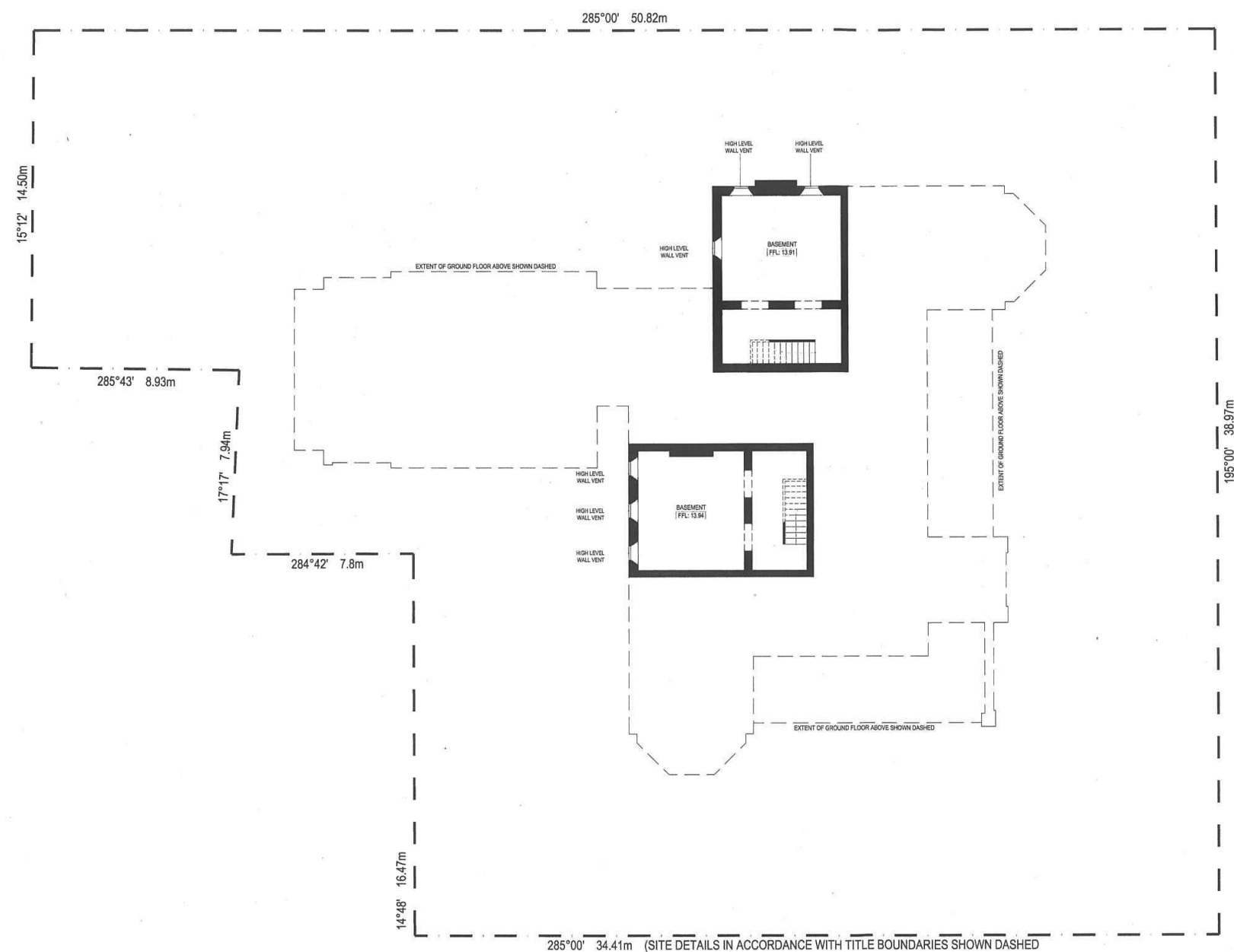
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Existing Roof Plan
ADDITIONS AND ALTERATIONS
Lathamstowe, Queenscliff



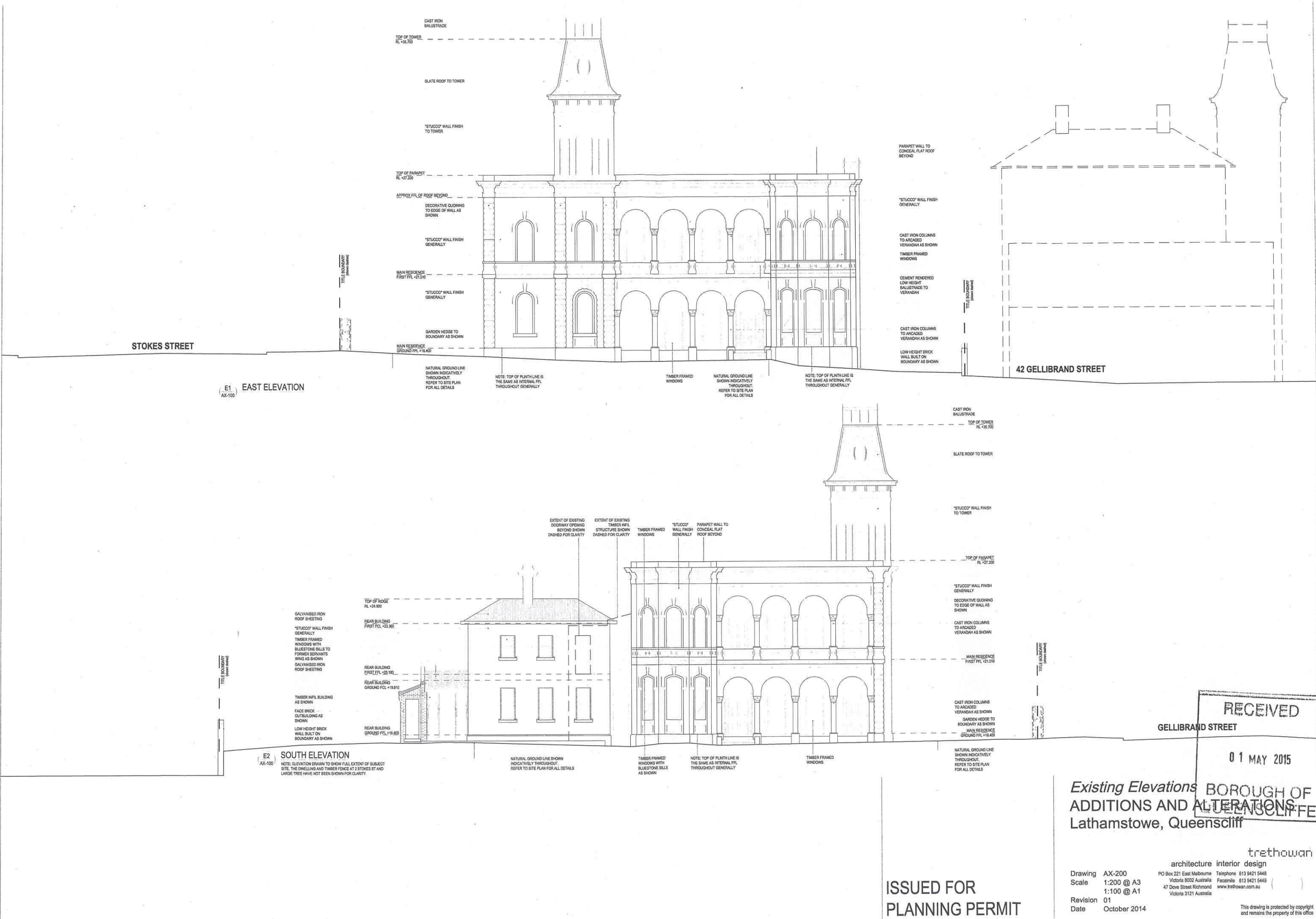
trethowan
architecture interior design
Drawing AX-102
Scale 1:200 @ A3
1:100 @ A1
Revision 01
Date October 2014
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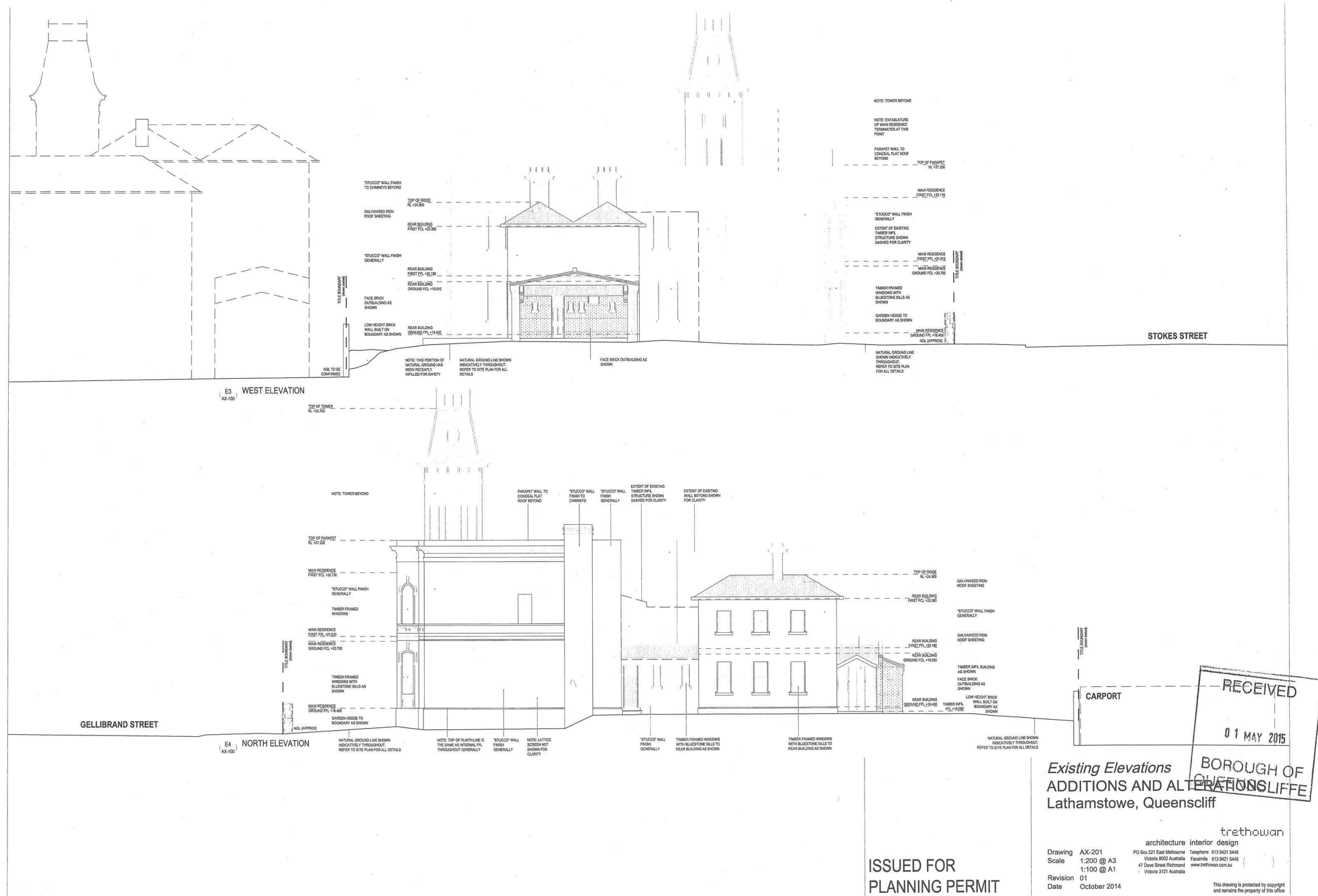


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PLANNING PERMIT

Existing Basement Floor Plan
ADDITIONS AND ALTERATIONS
Lathamstowe, Queenscliff

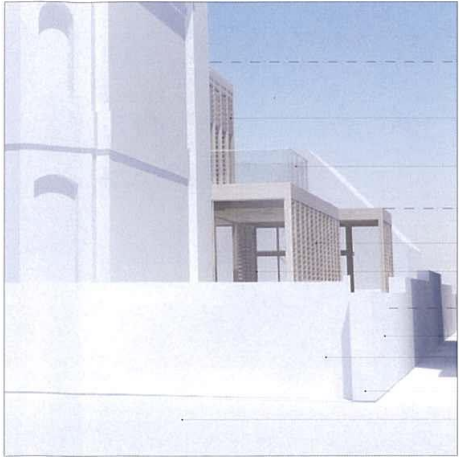
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Drawing AX-103
Scale 1:200 @ A3
1:100 @ A1
Revision 01
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1 VIEW 01
TP-001 Gellibrand Street view. NOTE: hedge and gates shown indicatively



1A VIEW 01A
TP-001 Close up view.



3 VIEW 03
TP-001 Rear view of Pool Enclosure and Outdoor Dining



4 VIEW 04 (internal)
TP-001 Looking West. NOTE: adjustable louvres appear more solid in this impression than anticipated



5 VIEW 05 (internal)
TP-001 Looking East. NOTE: adjustable louvres appear more solid in this impression than anticipated

RECEIVED

01 MAY 2015

BOROUGH OF QUEENSLIFFE

REVISION NOTES:
03 - issued to Heritage Victoria as an amendment to the new application.

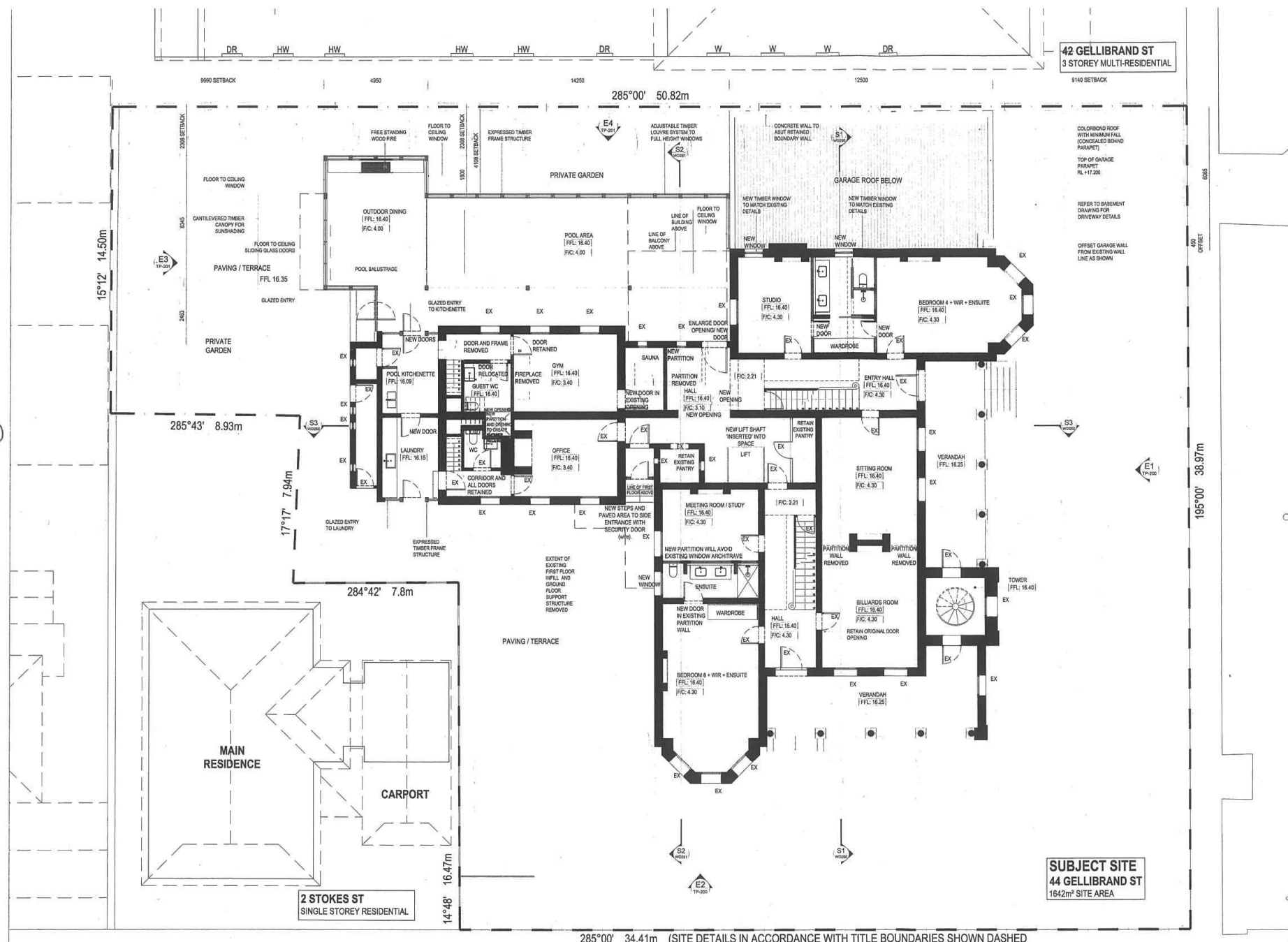
ISSUED FOR
PLANNING PERMIT

Design Response
ADDITIONS AND ALTERATIONS
Lathamstowe, Queenscliff

trethowan
architecture interior design
PO Box 221 East Melbourne Telephone 613 9421 5448
Victoria 3002 Australia Facsimile 613 9421 5449
47 Dove Street Richmond www.trethowan.com.au
Victoria 3121 Australia

Drawing TP-002
Scale N/A
Revision 03
Date March 2015

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DESIGN RESPONSE - GROUND FLOOR LEVEL
GENERALLY
THE GROUND FLOOR ADDITIONS TO LATHAMSTOWE HAVE BEEN CAREFULLY DESIGNED SO TO PRESENT A DISTINCTLY CONTEMPORARY BUILT FORM WHICH IS CONSIDERATE OF ITS CONTEXT. IN ORDER FOR THE MAIN BUILDING TO REMAIN THE DOMINANT FORM, THE ADDITIONS ARE PURPOSELY LOWER IN HEIGHT AND REFINED IN THEIR DETAILING. THE GENERAL MATERIAL PALETTE IS RESTRICTED TO OFF-FORM CONCRETE, NATURAL TIMBER AND GLASS. THESE MATERIALS ASSIST THE PARED-BACK NATURE OF THE ADDITIONS, SO THAT THEY PROVIDE A CONTEMPORARY BACKDROP TO THE CLASSICAL FEATURES OF THE EXISTING BUILDING, WHILST ALSO SHOWCASING THE SUBTLETIES OF A TIMELESS AND WELL-CRAFTED PIECE OF MODERN ARCHITECTURE.

GARAGE ADDITION
THE GARAGE IS TO BE SET DOWN BELOW NGL, SO THAT THE FFL IS CONSISTENT WITH THAT OF THE NORTHERN BASEMENT AND LIFT AREA. THE DECISION TO AMEND THE GARAGE POSITION IS TWO-FOLD; AS IT NOW PROVIDES BETTER PEDESTRIAN ACCESS TO THE RESIDENCE FOR THE OWNERS WHILST ALSO ALLOWING THE OVERALL BUILT FORM TO BE REDUCED WHEN VIEWED FROM GELLIBRAND STREET.

THE GARAGE FORM IS TO BE CONSTRUCTED USING OFF-FORM CONCRETE WALLS (OR SIMILAR), WITH A PANEL-LIFT COLORBOND ROLLER DOOR WHICH IS TO BE A SIMILAR COLOUR TO THE CONCRETE WALL SO THAT THIS DOES NOT BECOME AN OBVIOUS FEATURE. THE USE OF CONCRETE IN ITS RAW STATE HAS BEEN AN IMPORTANT CONSIDERATION SO TO PROVIDE A MATERIAL THAT IS COMPLEMENTARY IN ITS TONE TO THE MAIN BUILDING, WHILST APPEARING OBVIOUSLY CONTEMPORARY. THE RL TO THE TOP OF THE PARAPET HAS TAKEN INTO CONSIDERATION THE REQUIRED HEAD CLEARANCE OF A 4WD TYPE VEHICLE. DOOR MECHANISMS, AND ROOF PITCHFALL TO ENSURE SUFFICIENT SPACE IS PROVIDED. THE PREVIOUS APPLICATION TOOK A MORE OPTIMISTIC VIEW IN THIS REGARD. FUNDAMENTAL TO THE GARAGE REDESIGN IS OUR BELIEF THAT A SETDOWN AND CONSEQUENT VISUAL REDUCTION IN FORM MAKES A BETTER CONTRIBUTION TO THE SETTING OF THE MAIN BUILDING.

POOL ENCLOSURE ADDITION
THE POOL ENCLOSURE UTILISES A CONCRETE PLINTH CONSTRUCTED TO THE SAME HEIGHT AS THE GARAGE PARAPET WALLS. THIS OFFERS A CONSISTENT HEIGHT ACROSS THE ELEVATIONS. IN A SIMILAR WAY TO THE EXISTING PLINTH ON THE MAIN BUILDING. ABOVE THE CONCRETE PLINTH, A SERIES OF TIMBER POSTS AND BEAMS DEFINE THE SKY LIT ENCLOSURE. THE REPETITION OF THE POSTS AND BEAMS GIVES A SENSE OF MODULARITY AND RHYTHM TO THE ADDITIONS, WHILST SHOWCASING THE NATURAL BEAUTY OF TIMBER. IT IS INTENDED THAT THIS EXPRESSED TIMBER STRUCTURE WOULD EITHER BE LEFT IN ITS NATURAL STATE OR OILED - IT WILL NOT BE PAINTED. SET WITHIN THE TIMBER FRAMED STRUCTURE IS A SERIES OF FULL HEIGHT ALUMINIUM WINDOWS WITH AN ADJUSTABLE SYSTEM OF TIMBER LOUVRES. THE LOUVRES OFFER SUN PROTECTION AND PRIVACY, WHILST COMPLEMENTING THE EXPRESSED TIMBER STRUCTURE. ALUMINIUM FRAMED WINDOWS ARE VISIBLE ON THE GELLIBRAND STREET FAÇADE OF THE POOL ENCLOSURE TO TAKE ADVANTAGE OF THE VIEWS TOWARDS THE BAY. THESE WINDOWS WILL UTILISE CLEAR GLASS AND INCLUDE OPERABLE SECTIONS FOR NATURAL VENTILATION.

THE GROUND LEVEL OF THE POOL ENCLOSURE UTILISES A TALL FCL (4.0m) AND, AS A RESULT, CONVERTS THE LOWER PORTION OF THE NORTHERN FAÇADE OF THE FORMER SERVANTS' WING INTO A GALLERY PASSAGE, WHERE THE EXISTING FAÇADE AND WINDOW DETAILS CAN BE APPRECIATED FROM WITHIN THE POOL ENCLOSURE. ALL EXISTING WINDOWS ARE RETAINED ALONG THIS ELEVATION AND THE OUTBUILDING INCORPORATES A NEW GLAZED ENTRY TO BE CONSISTENT WITH THE NEW ADDITIONS ON BOTH THE NORTH AND SOUTH FAÇADES.

THE OUTDOOR DINING AREA IS INTEGRATED WITHIN THE POOL ENCLOSURE AND UTILISES GLAZED SLIDING DOORS TO ACCESS A NEW TERRACE AND GARDEN TO THE WEST.

SOUTHERN ENTRY FOYER ADDITION
THE LATER ADDED FIRST FLOOR INFILL STRUCTURE HAS BEEN REMOVED FROM THE SOUTHERN ENTRANCE. NEW STEPS, PAVED AREA, AND SECURITY DOOR HAVE BEEN ADDED TO PROVIDE A MORE DESIRABLE ACCESS POINT.

INTERNAL CHANGES
A SERIES OF INTERNAL CHANGES HAVE OCCURED AS PART OF THIS APPLICATION. THESE ARE AS A RESULT OF REVISED LAYOUT ADJUSTMENTS. FOR DETAILS REGARDING ALL INTERNAL CHANGES PLEASE REFER TO TP-120 AND 121.

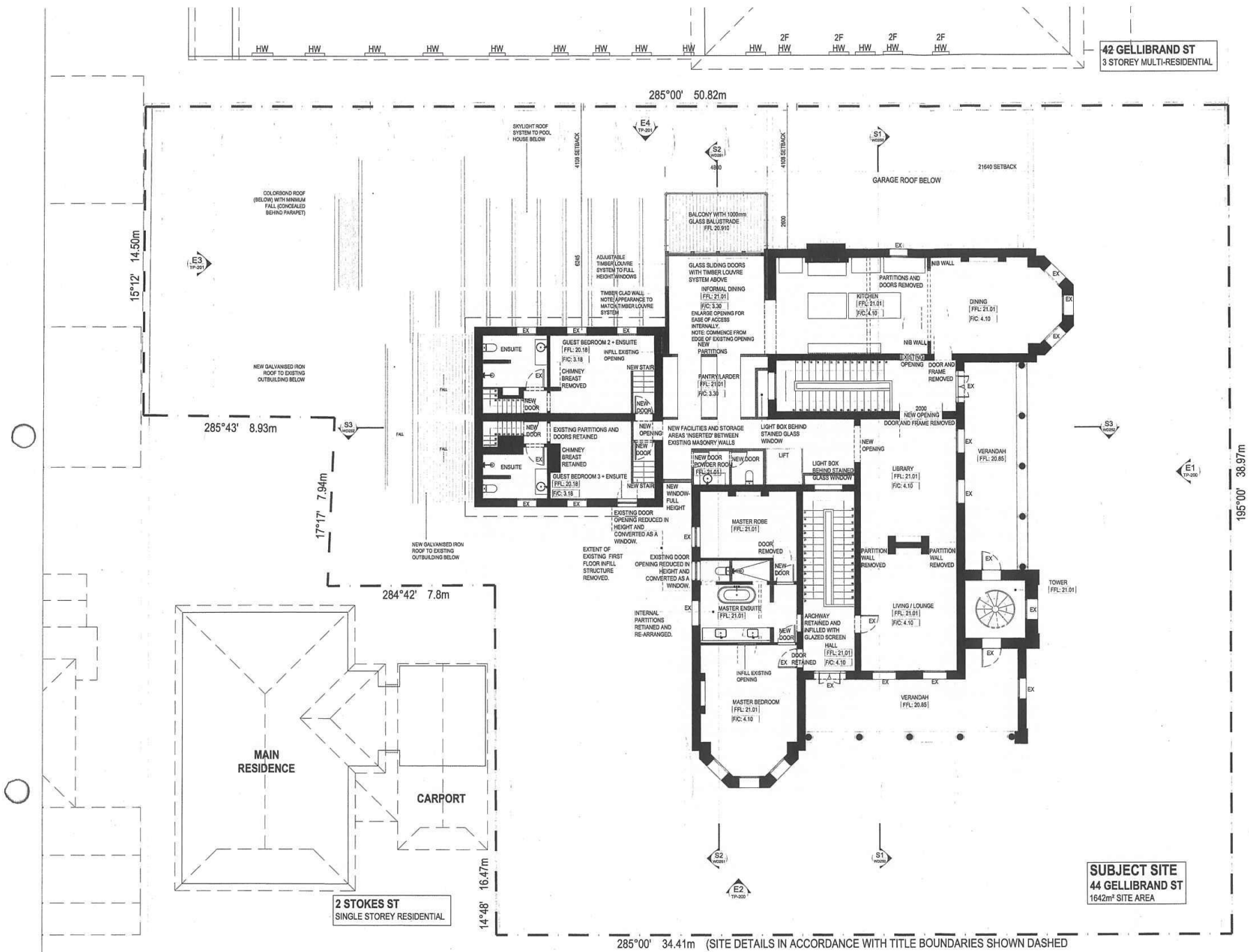
- HW WINDOWS LOCATED ON GROUND FLOOR TO HABITABLE ROOMS
- W WINDOWS LOCATED ON GROUND FLOOR TO NON-HABITABLE ROOMS
- DR DOORS LOCATED ON GROUND FLOOR

REVISION NOTES:
03 - Issued to Heritage Victoria as an amendment to the new application.
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BOROUGH OF QUEENSCLIFFE

Proposed Ground Floor Plan
ADDITIONS AND ALTERATIONS
Lathamstowe, Queenscliff

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Drawing TP-100
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DESIGN RESPONSE - FIRST FLOOR LEVEL
GENERALLY
THE UPPER FLOOR ADDITIONS TO LATHAMSTOWE HAVE BEEN INTEGRATED TO FORM PART OF THE OVERALL DESIGN CONCEPT OF THE PROPOSAL. THE NORTHERN WALL ALIGNMENT OF THE INFORMAL DINING AREA IS CONSISTENT WITH THE POOL ENCLOSURE BELOW TO REDUCE THE VISUAL IMPACT OF THE ADDITIONS BY HAVING ALL FACADES ALIGNED TO A CONSISTENT WALL FACE. THE MATERIALS AND FORM HAVE ALSO BEEN DESIGNED TO BE CONSISTENT WITH BELOW TO ASSIST THIS REFINED VISUAL WHEN VIEWED FROM GELLIBRAND STREET.

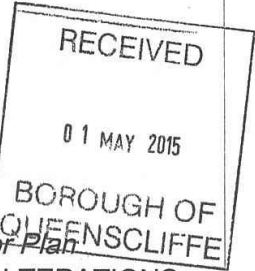
THE OVERALL HEIGHTS OF THE UPPER LEVEL ADDITIONS HAVE BEEN INCREASED FROM THE ORIGINAL APPLICATION TO ACCOMMODATE A 3.3M FCL. INTERNALLY, THIS ALLOWS THE NEW ROOMS TO BE INTEGRATED WITHIN THE ADJACENT UPPER FLOOR ROOMS, WHILST NOT BECOMING OVERLY TALL IN THEIR EXTERIOR PROPORTIONS WITH RESPECT TO THE MAIN BUILDING.

NORTHERN SUNROOM / INFORMAL DINING ADDITION
SIMILARLY TO THE GROUND FLOOR, THE EASTERN FACADE IS MADE UP OF LARGE GLAZED VIEWING PANELS TO TAKE ADVANTAGE OF THE BAY VIEWS. THE WESTERN ELEVATION IS MADE UP OF A SERIES OF ALUMINIUM WINDOWS, WITH AN INTEGRATED SYSTEM OF ADJUSTABLE TIMBER LOUVRES FOR SUN PROTECTION AND PRIVACY. THE NORTHERN WALL IS TIMBER CLAD TO MATCH THE APPEARANCE OF THE LOUVRES, WHILST EXPRESSING THE TIMBER STRUCTURE.

SOUTHERN SUNROOM / RETREAT ADDITION
THIS ADDITION IS CONSISTENT WITH THE GENERAL APPROACH WHILST UTILISING AN ADJUSTABLE TIMBER LOUVRE SYSTEM TO CONTROL WESTERN/SOUTHERN VIEWS AND NATURAL LIGHT.

INTERNAL CHANGES
A SERIES OF INTERNAL CHANGES HAVE OCCURRED AS PART OF THIS APPLICATION. THESE ARE AS A RESULT OF REVISED LAYOUT ADJUSTMENTS. FOR DETAILS REGARDING ALL INTERNAL CHANGES PLEASE REFER TO TP-120 AND 121.

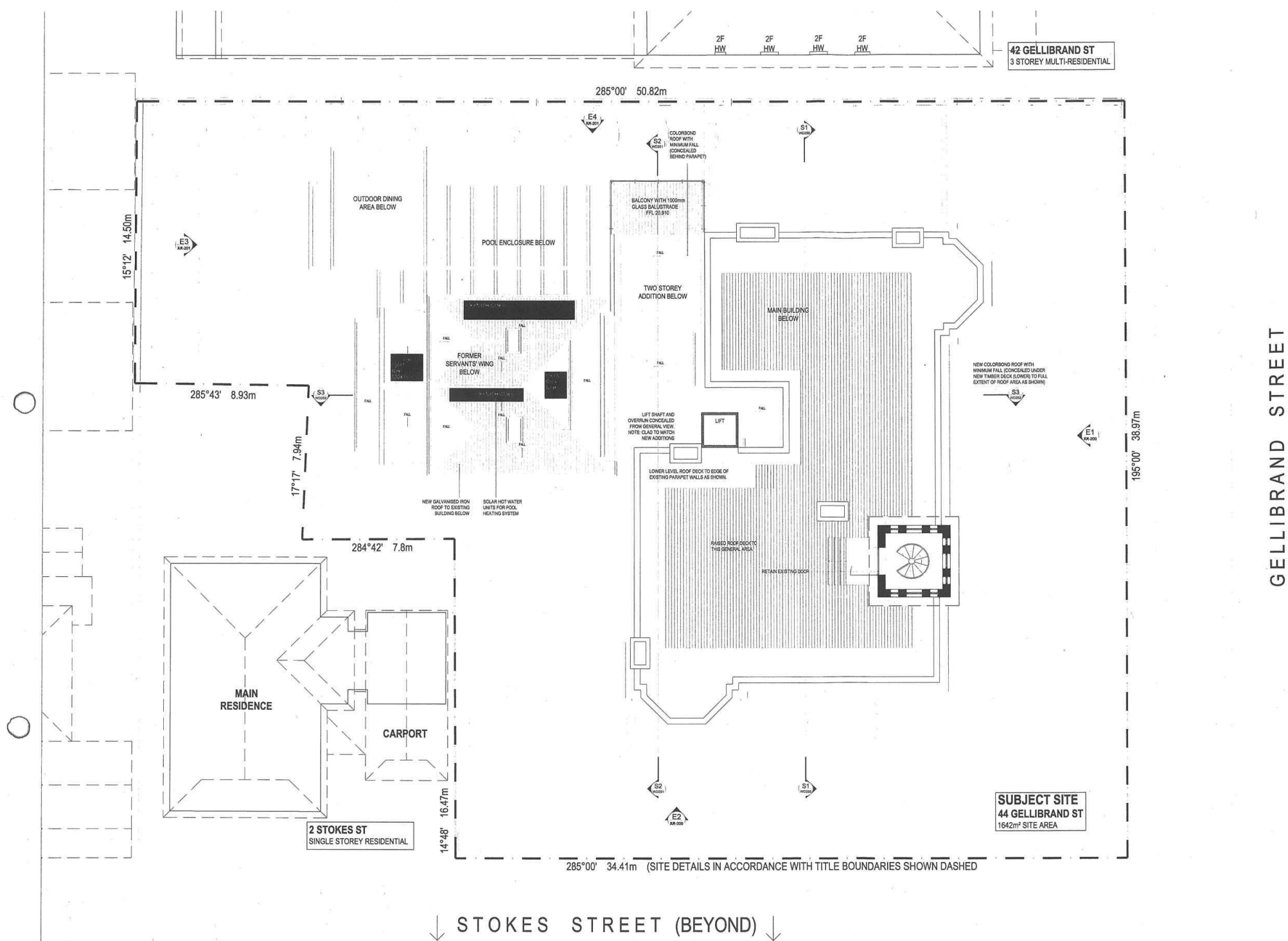
GELLIBRAND STREET



Proposed First Floor Plan
ADDITIONS AND ALTERATIONS
Lathamstowe, Queenscliff

REVISION NOTES:
03 - Issued to Heritage Victoria as an amendment to the new application.
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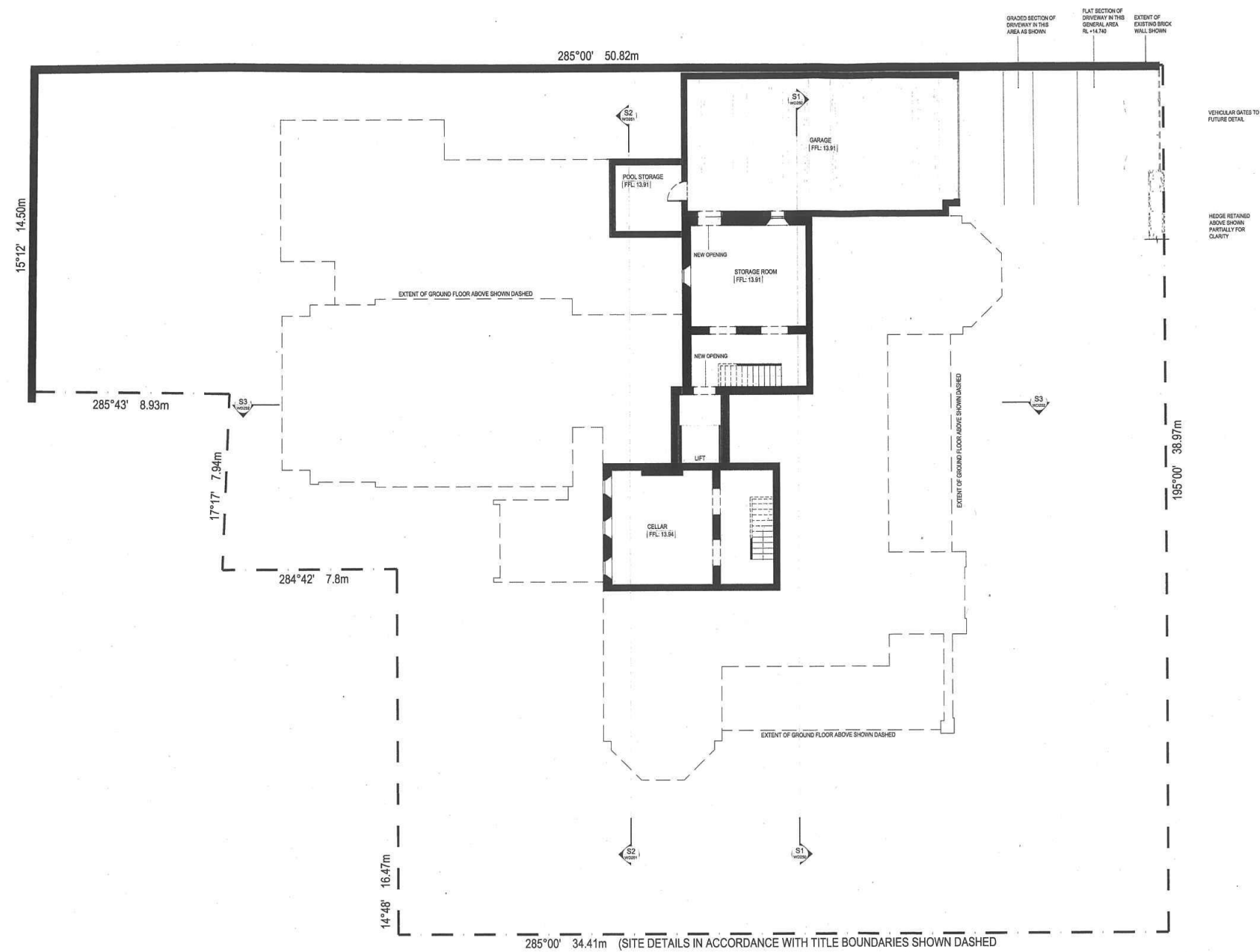
REVISION NOTES:
03 - issued to Heritage Victoria as an amendment to the new application.

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Proposed Roof Plan
ADDITIONS AND ALTERATIONS
Lathamstowe, Queenscliff

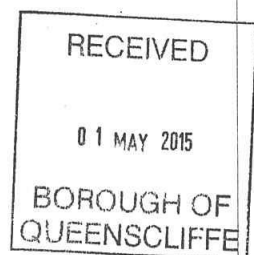
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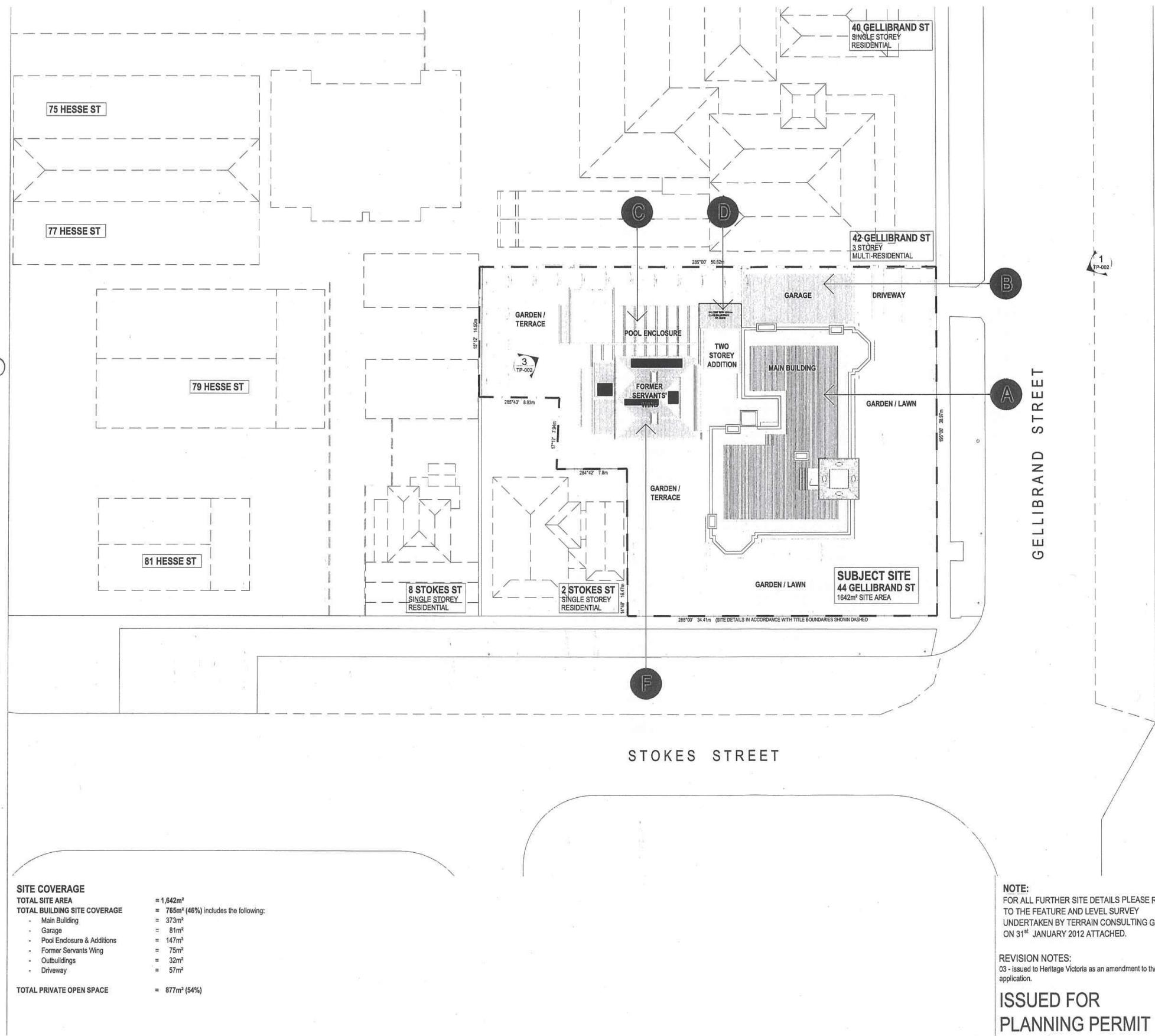
REVISION NOTES:
02 - issued to Heritage Victoria as new application instead of amendment as requested.

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Proposed Basement Floor Plan
ADDITIONS AND ALTERATIONS
Lathamstowe, Queenscliff

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DEVELOPMENT PROPOSAL

A. MAIN BUILDING (RETAINED)
ORIGINALLY, LATHAMSTOWE WAS DESIGNED AS A TWO STOREY PAIR OF 13 ROOMED HOUSES BUILT IN 1882-83 AT THE CORNER OF STOKES AND GELLIBRAND STREETS, QUEENSLIFF. THE BUILDING WAS DESIGNED IN THE CLASSICAL REVIVAL STYLE, WITH ARCADED VERANDAHs SUPPORTED ON CAST-IRON COLUMNS ON EACH OF THE TWO STOREYS ALONG BOTH ELEVATIONS.

AS PART OF OUR PROPOSAL FOR EXTERNAL WORKS TO THE EXISTING MAIN BUILDING, GENERALLY ALL EXTERNAL FABRIC IS TO BE REPAIRED ON A LIKE FOR LIKE BASIS, AND REFURBISHED. PROPOSED WORKS TO THE MAIN BUILDING INCLUDE NEW ROOF SHEETING AND TIMBER DECK TO THE ROOFTOP LEVEL, A CENTRAL LIFT ENCLOSURE, A SERIES OF NEW WINDOW OPENINGS, AND INTERNAL WORKS AS PER THE ATTACHED DETAILED PLANS.

NOTE: FOR HIGHLIGHTED DIFFERENCES BETWEEN THIS APPLICATION AND THE ORIGINAL APPLICATION, PLEASE REFER TO TP-120 & 121 INCLUDED IN OUR COVERING LETTER.

B. GARAGE (GROUND LEVEL ADDITION)
THE NEW GARAGE STRUCTURE IS TO BE SET DOWN BELOW NGL TO REDUCE ITS VISIBILITY AND GENERAL IMPACT ON THE GELLIBRAND STREET STREETScape. THE PROPOSED GARAGE REQUIRES A RAMPED DRIVEWAY AS SHOWN AND WILL UTILIZE NEW AUTOMATED DOUBLE GATES FOR VEHICULAR ACCESS. THE DETAILS OF THE PROPOSED GATES ARE NOT CONFIRMED AT THIS STAGE. THE GARAGE HAS DIRECT PEDESTRIAN ACCESS THROUGH TO THE BASEMENT LEVEL AND LIFT AS A RESULT OF ITS LOWERED FLOOR LEVEL.

THE GARAGE ABUTS THE EXISTING MAIN BUILDING TO THE SOUTH, AND THE RETAINED BOUNDARY BRICK WALL TO THE NORTH. SUFFICIENT STRUCTURAL SUPPORT WILL BE PROVIDED AS AND WHERE REQUIRED IN ACCORDANCE WITH CERTIFIED STRUCTURAL ENGINEERING DETAILS. THE DRIVEWAY IS TO BE PAVED.

C. POOL ENCLOSURE (GROUND LEVEL ADDITION)
AN EXPRESSED TIMBER FRAMED STRUCTURE IS PROPOSED TO ENCLOSE A NEW POOL AND OUTDOOR ENTERTAINING AREA TO THE NORTHWEST OF THE SUBJECT SITE. THIS ADDITION UTILIZES A SERIES OF OVERHEAD SKYLIGHTS FOR NATURAL LIGHT, WHILST THE FACADES RELY ON A SERIES OF ADJUSTABLE TIMBER LOUVRES TO FILTER NATURAL LIGHT AND SCREEN THE INTERIOR FOR PRIVACY REASONS. THE MASONRY PLINTH OF THE ENCLOSURE IS A CONTINUATION OF THE CONCRETE GARAGE STRUCTURE AND PROVIDES A CONSISTENCY OF MATERIALS, WHILST RETAINING THE EXISTING NATURAL GROUND AS SHOWN.

FOR ARTIST'S IMPRESSION VIEWS OF THIS ADDITION PLEASE REFER TO DRAWING TP-002.

D. TWO STOREY ADDITION (INFORMAL DINING/ BALCONY)
INTEGRATED WITHIN THE POOL ENCLOSURE FOOTPRINT IS A PROPOSED UPPER LEVEL BALCONY/ DINING AREA, WHICH PROVIDES EASTERLY VIEWS OF THE BAY FROM THE BALCONY. THE UPPER LEVEL BUILT FORM IS SETBACK FROM THE EXPRESSED TIMBER FRAME STRUCTURE OF THE GROUND LEVEL POOL ENCLOSURE AND INCORPORATES A SERIES OF ALUMINIUM FRAMED WINDOWS AND DOORS. THE EASTERN FACADE INCLUDES A SERIES OF WINDOWS AND ADJUSTABLE TIMBER LOUVRES FOR SUN PROTECTION AND PRIVACY. THE NORTH WALL IS TO BE CLAD IN TIMBER TO COMPLEMENT THE AESTHETIC OF THE TIMBER STRUCTURE, WHILST PROVIDING NECESSARY PRIVACY FROM THE OPPOSING RESIDENTIAL BUILDING AT 42 GELLIBRAND STREET. THE HEIGHT AND FORM OF THIS TWO STOREY STRUCTURE HAS BEEN PURPOSELY RESTRAINED TO PROVIDE A SYMPATHETIC AND DISCREET BACKDROP TO THE MAIN BUILDING.

FOR ARTIST'S IMPRESSION VIEWS OF THIS ADDITION, PLEASE REFER TO DRAWING TP-002.

F. FORMER SERVANTS' WING AND OUTBUILDINGS (RETAINED)
THE FORMER SERVANTS' WING IS TO BE GENERALLY RETAINED EXTERNALLY, WITH ALL FABRIC TO BE REPAIRED ON A LIKE FOR LIKE BASIS, WHERE REQUIRED, AND REFURBISHED.

PROPOSED WORKS TO THE FORMER SERVANTS' WING INCLUDE NEW GALVANISED IRON ROOF SHEETING, CONCEALED SOLAR HOT WATER PANELS FOR THE POOL, ADJUSTMENTS TO SOME WINDOW OPENINGS, ROOF/EAVE/GUTTER ADJUSTMENTS TO ACCOMMODATE THE UPPER LEVEL SUN ROOMS AND INTERNAL WORKS AS PER THE ATTACHED DETAILED PLANS. THE GROUND LEVEL OF THE EXISTING FACADE ON THE NORTHERN ELEVATION BECOMES AN INTERNAL WALL FACE TO THE POOL ENCLOSURE AS SHOWN. THIS CAN BEST BE VIEWED IN THE ARTIST'S IMPRESSION INTERNAL VIEWS OF THE POOL ENCLOSURE.

NOTE: FOR HIGHLIGHTED DIFFERENCES BETWEEN THIS APPLICATION AND THE ORIGINAL APPLICATION, PLEASE REFER TO TP-120 & 121 INCLUDED IN OUR COVERING LETTER.

G. GARDEN AREAS
GENERALLY, ALL EXTERNAL LANDSCAPING IS TO BE SYMPATHETIC TO THE NEW ADDITIONS AND EXISTING BUILDINGS, WITH THE INCLUSION OF A SERIES OF PAVED TERRACES, PRIVATE GARDENS AND A PAVED DRIVEWAY TO THE SET DOWN GARAGE. THE EXISTING HEDGE IS TO BE RETAINED, ALONG WITH TWO PEDESTRIAN GATES AS SHOWN. THE DRIVEWAY WILL UTILISE A PAIR OF AUTOMATED GATES. FOR THE PURPOSES OF THIS APPLICATION THE GATES ARE TO BE 1.8M TALL, AND SOLID IN APPEARANCE. FOR FURTHER DETAILS REFER TO TP100.

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Proposed Site Plan
ADDITIONS AND ALTERATIONS
Lathamstowe, Queenscliff

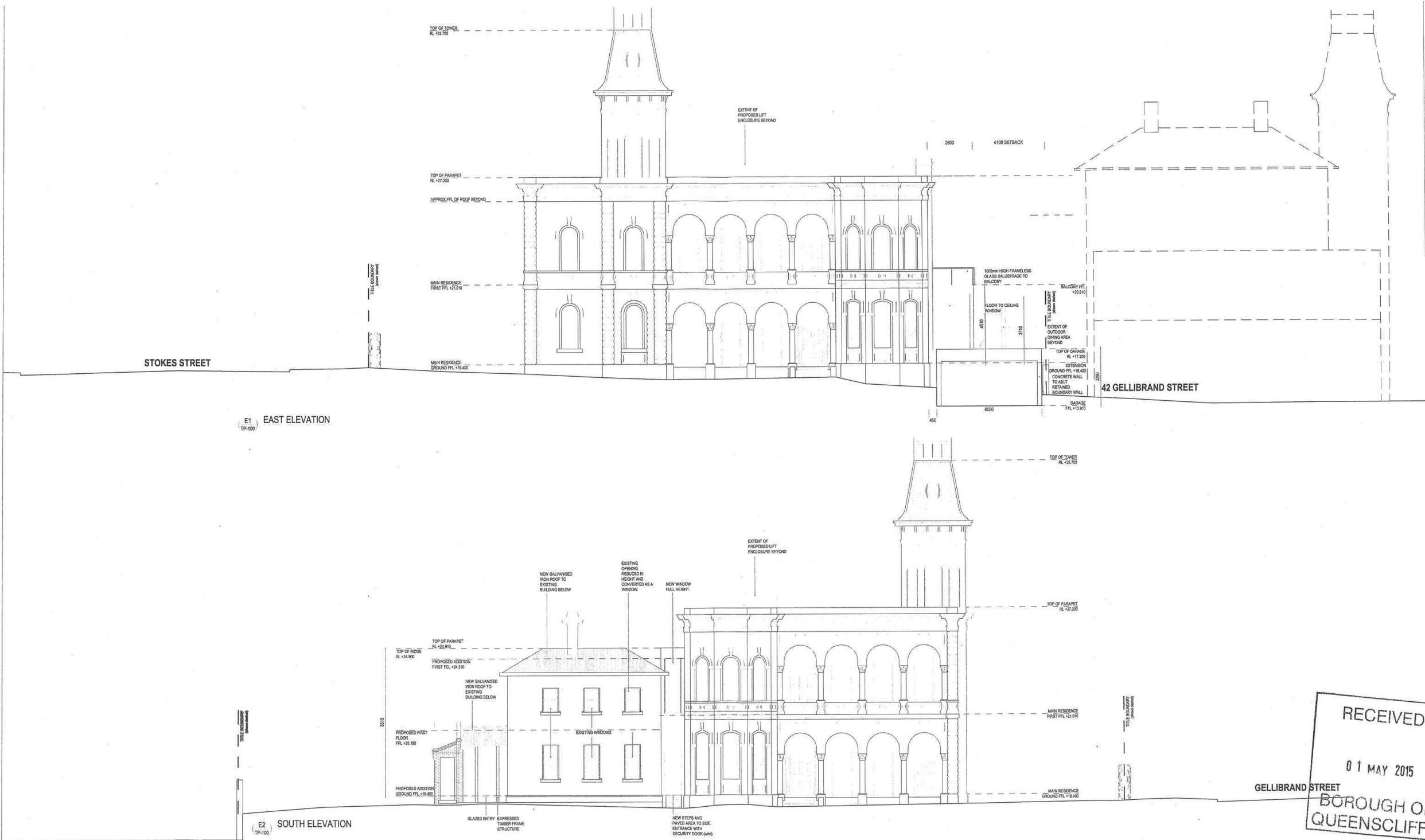
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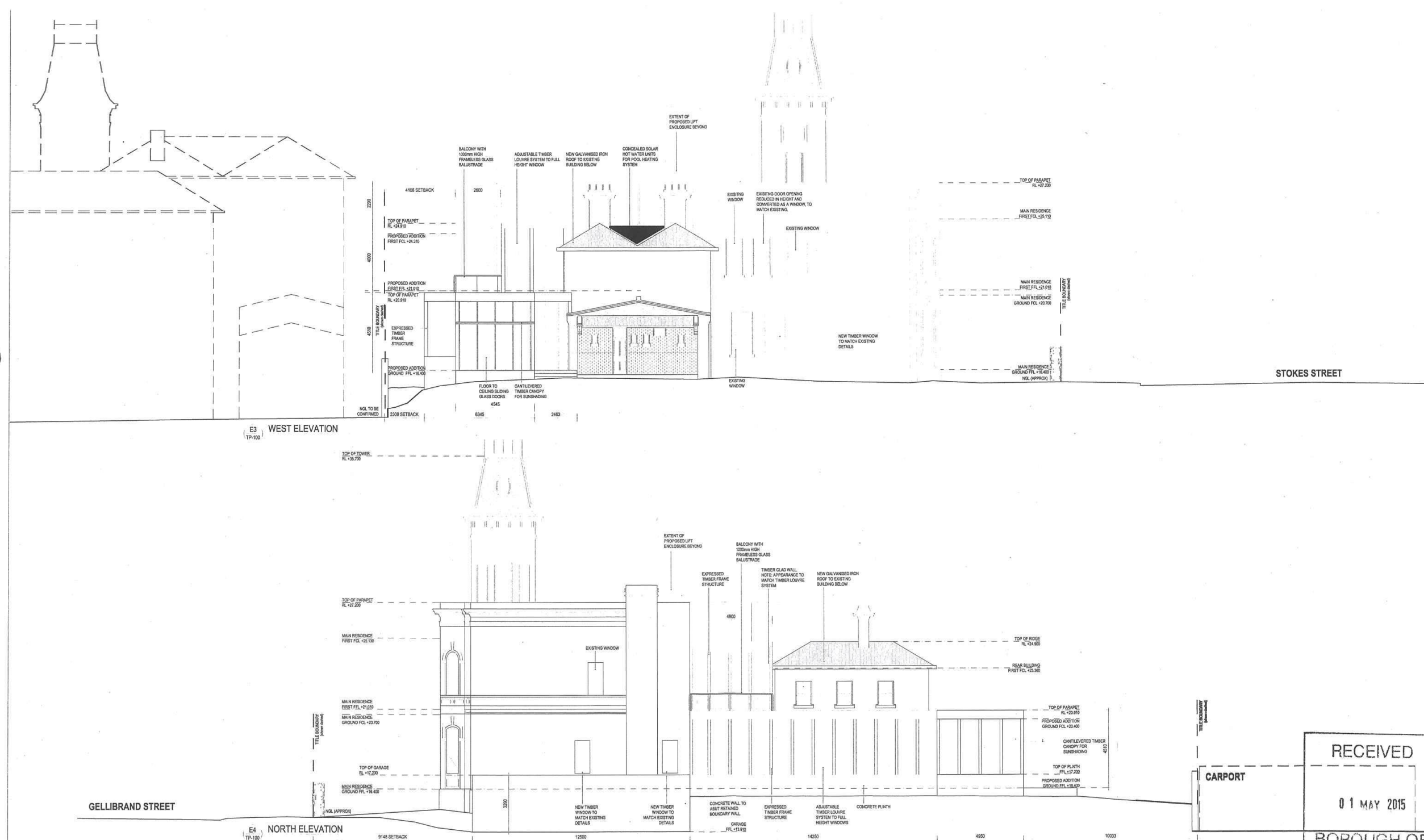
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Date March 2015

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Proposed Elevations
ADDITIONS AND ALTERATIONS
Lathamstowe, Queenscliff

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